GENERAL NOTES

- ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH APPLICABLE LAWS, REGULATIONS, AND CODES. CONTRACTOR SHALL NOTIFY STATE AND LOCAL AUTHORITIES BEFORE COMMENCEMENT OF WORK.
- 2. CONTRACTOR SHALL VISIT THE SITE, FAMILIARIZE HIM/HERSELF WITH THE EXISTING CONDITIONS AND REVIEW AND UNDERSTAND THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND CONDITIONS PRIOR TO BEGINNING ANY WORK AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCY. DO NOT SCALE DRAWINGS TO OBTAIN DIMENSIONS. WRITTEN DIMENSIONS GOVERN. USE ACTUAL FIELD MEASUREMENTS. NOTIFY ARCHITECT IF ANY DISCREPANCIES ARE FOUND. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CORRECTIONS AND REPAIRS REQUIRED DUE TO THEIR FAILURE TO DO SO.
- 3. PROTECT ALL WORK WHICH IS INDICATED TO REMAIN, INCLUDING BUILDINGS. PAVEMENTS. CURBS. & THE LIKE ON THE SITE & ADJACENT.
- 4. ALL LINES ARE PARALLEL OR PERPENDICULAR TO THE LINES FROM WHICH THEY ARE MEASURED UNLESS NOTED OTHERWISE. CONTRACTOR SHALL VERIFY ALL DIMENSIONS & RELATIONS TO OTHER WORK PRIOR TO FABRICATION & INSTALLATION.
- 5. COORDINATES & WRITTEN DIMENSIONS SHALL PREVAIL. DIMENSIONS ARE TO STRUCTURAL GRID OR TO FINISH SURFACES. DO NOT SCALE DRAWINGS.
- 6. SOLELY AS A CONVENIENCE TO THE OWNER AND CONTRACTOR, THE ARCHITECT MAY INCLUDE DOCUMENTS PREPARED BY CERTAIN CONSULTANTS AND/OR VENDORS (OR INCORPORATE THE RECOMMENDATIONS OF SAID CONSULTANTS AND/OR VENDERS INTO DOCUMENTS PREPARED BY THE ARCHITECT) WITHIN THE SET OF DOCUMENTS ISSUED BY THE ARCHITECT. IT IS EXPRESSLY UNDERSTOOD, THAT BY SUCH ISSUANCE, THE ARCHITECT ASSUMES NO LIABILITY FOR THE SERVICES FOR SAID CONSULTANTS AND/OR VENDERS.
- THE SOILS REPORT, IF REQUIRED, ESTABLISHES THE RECOMMENDATIONS FOR EARTHWORK CONSTRUCTION AND SAID RECOMMENDATIONS ARE A PART OF THE CONSTRUCTION CONTRACT. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR FINDINGS AND CONCLUSIONS IN THE SOILS REPORT AND INCLUDES IT FOR REFERENCE ONLY. CONTRACTOR SHALL NOTIFY THE ARCHITECT, ENGINEER AND OWNER OF ANY DISCREPANCY BETWEEN THIS REPORT AND THE PLANS PRIOR TO BEGINNING WORK. THE MORE STRINGENT REQUIREMENT SHALL APPLY.
- 8. UNLESS OTHERWISE INDICATED ON THESE DRAWINGS OR IN THE PROJECT MANUAL AND SPECIFICATIONS AS BEING N.I.C. OR EXISTING, ALL ITEMS, MATERIALS, ETC. AND INSTALLATION OF THE SAME ARE A PART OF THE CONTRACT DEFINED BY THESE DRAWINGS AND SPECIFICATIONS.
- 9. CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS AND COMPLY WITH SAFETY REGULATIONS AND RESTRICTIONS AS REQUIRED FOR WORKERS AND PEDESTRIAN PROTECTION DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT. PROVIDE PROTECTION AS REQUIRED TO PREVENT ANY DAMAGE TO EXISTING CONSTRUCTION WITHIN AND ADJACENT TO JOB SITE. WHERE DAMAGE OCCURS, THE CONTRACTOR SHALL REPAIR OR REPLACE DAMAGED AREA AND/OR MATERIAL AS REQUIRED TO THE OWNER'S APPROVAL AT NO ADDITIONAL COST. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
- 10. IF THERE ARE TRENCHES OR EXCAVATION 5'-0" OR MORE IN DEPTH INTO WHICH A PERSON IS REQUIRED TO DESCEND, CONTRACTOR SHALL OBTAIN NECESSARY PERMIT FROM THE STATE DIVISION OF INDUSTRIAL SAFETY.
- 11. CONTRACTOR TO PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION UTILITIES, OTHER SERVICES AND RELATED TASKS NECESSARY FOR PROPER EXECUTION OF THE CONSTRUCTION REQUIRED BY THE CONTRACT DOCUMENTS.
- 12. ANY REVISION OR ADDITIONAL WORK REQUIRED BY THE FIELD CONDITIONS OR LOCAL GOVERNING AUTHORITIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING.
- 13. SHOULD ANY ASPHALTIC CONCRETE REQUIRE PATCHING ADJACENT TO BUILDINGS, IT SHALL BE DONE ACCORDING TO THE PAVING SPECIFICATIONS AND THE SOILS REPORT AND SHALL BE OF THE SAME SECTION AND DRAINAGE SCHEME AS ADJACENT PAVED AREAS.
- 14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL PERMITS, LICENSES, INSPECTIONS AND TESTING INDICATED ON THE PLANS AND/OR BY SPECIFICATIONS OR REQUIRED BY THE SOILS REPORT AND/OR REQUIRED BY ANY GOVERNMENT AGENCY. CONTRACTOR SHALL VERIFY THE SIZE AND LOCATION OF ALL UTILITY LINES AND STUBS TO THE BUILDING AS MAY BE INDICATED ON THE PLANS. CONTRACTOR SHALL BE REQUIRED TO BRING ALL UTILITY LINES (WATER, SEWER, GAS AND ELECTRICAL). INTO THE BUILDING, FROM TERMINATION POINTS AS INDICATED ON THE PLANS, READY FOR SERVICE
- 15. ALL EXTERIOR OPENINGS SHALL COMPLY WITH CITY SECURITY ORDINANCES.
- 16. NO ADDITIONAL ROOF OPENING OR ROOF MOUNTED EQUIPMENT IS ALLOWED BEYOND THAT WHICH IS SHOWN ON THESE PLANS WITHOUT WRITTEN CONSENT OF THE ARCHITECT AND STRUCTURAL ENGINEER.NO STRUCTURAL MEMBER SHALL BE CUT FOR PIPES. A/C DUCTS, ETC., UNLESS SPECIFICALLY DETAILED AND/OR APPROVED BY THE STRUCTURAL ENGINEER.
- 17. ALL SHOP WELDING TO BE DONE IN A CERTIFIED LICENSED SHOP. ALL FIELD WELDING SHALL BE DONE BY LICENSED WELDERS UNDER CONTINUOUS INSPECTION WITH CERTIFICATE ISSUED AS REQUIRED BY BUILDING OFFICIAL.
- 18. ONE SET OF THE APPROVED PLANS BEARING THE STAMPS OF THE AGENCY WITH JURISDICTION MUST BE MAINTAINED ON THE PROJECT SITE THROUGHOUT ALL PHASES OF CONSTRUCTION AND MUST BE MADE AVAILABLE TO BUILDING AND FIRE INSPECTORS FOR REFERENCE DURING INSPECTION.
- 19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SYSTEMS, INCLUDING, BUT NOT LIMITED TO, MECHANICAL, PLUMBING, AND ELECTRICAL WORK. WORK SHOWN ON THE DRAWINGS IS INTENDED TO ILLUSTRATE THE GENERAL DESIGN INTENT, SCOPE, AND LOCATION OF WORK. ALL WORK NOT SPECIFICALLY DRAWN, BUT REQUIRED FOR A COMPLETE, LEGAL, AND FUNCTIONING SYSTEM, SHALL BE PROVIDED AS PART OF THE WORK. MECHANICAL, ELECTRICAL AND PLUMBING PERMITS ARE NOT INCLUDED IN THIS SCOPE.

SITE NOTES

- 20. THE CONTRACTOR SHALL VERIFY DIMENSIONS OF EXISTING SITE CONDITIONS, DISTANCES, AND TOPOGRAPHIC CONTOURS. SITE CONDITIONS SHOWN ARE FROM OWNER-PROVIDED INFORMATION, SURVEYS BY OTHERS, AND PUBLIC RECORDS. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE SURVEY OR EXISTING SITE INFORMATION.
- 21. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UTILITIES BEFORE BEGINNING CONSTRUCTION BY RETAINING A UTILITY LOCATION SERVICE AND MARKING ALL UNDERGROUND UTILITY LOCATIONS. ANY UTILITY LOCATIONS SHOWN ON THE DRAWINGS ARE BASED ON AVAILABLE RECORDS AND ARE SHOWN FOR CONVENIENCE ONLY. UTILITIES MAY BE PRESENT BUT NOT SHOWN ON THE DRAWINGS. CARE SHOULD BE TAKEN TO AVOID DAMAGE TO EXISTING UTILITIES. THE CONTRACTOR SHALL COORDINATE CONNECTION LOCATIONS AND ELEVATIONS WITH THE UTILITY COMPANIES. RELOCATION OF UTILITIES, IF NECESSARY, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- 22. THE GEOTECHNICAL REPORT, IF REQUIRED, ESTABLISHES THE RECOMMENDATIONS FOR EARTHWORK CONSTRUCTION AND SAID RECOMMENDATIONS ARE A PART OF THE CONSTRUCTION CONTRACT. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR FINDINGS AND CONCLUSIONS IN THE GEOTECHNICAL OR SOILS REPORT(S) AND INCLUDES IT FOR REFERENCE ONLY. CONTRACTOR SHALL NOTIFY THE ARCHITECT, ENGINEER AND OWNER OF ANY DISCREPANCY BETWEEN THIS REPORT AND THE PLANS PRIOR TO BEGINNING WORK. THE MORE STRINGENT REQUIREMENT SHALL APPLY.
- 23. THE CONTRACTOR SHALL EXECUTE AND COMPLETE ALL WORK ON ADJACENT PROPERTIES AND PUBLIC RIGHTS-OF-WAY THAT IS REQUIRED BY CONSTRUCTION EASEMENT AGREEMENTS WITH NEIGHBORING PROPERTY OWNERS, PRIVATE CONTRACT DOCUMENTS WITH THE CITY OF MERCER ISLAND'S TRANSPORTATION, STREET USE PERMITS, OR ANY OTHER AGREEMENT OR CONTRACT. ALL IMPROVEMENTS AND REPAIRS TO SIDEWALKS, ALLEYS, STREETS AND NEIGHBORING PROPERTIES SHALL BE COORDINATED TO MINIMIZE THE IMPACT ON THE PUBLIC AND TO MAINTAIN ACCESS TO NEIGHBORING PROPERTIES. THE CONTRACTOR SHALL MAKE ARRANGEMENTS AND SECURE NECESSARY PERMITS WHEN CONSTRUCTION REQUIRES STREET OR SIDEWALK CLOSURES.
- 24. PROTECT ALL WORK WHICH IS INDICATED TO REMAIN, INCLUDING BUILDINGS, PAVEMENTS, CURBS, & THE LIKE ON THE SITE & ADJACENT.
- 25. IF ANY HAZARDOUS MATERIAL, INCLUDING BUT NOT LIMITED TO ASBESTOS, LEAD OR POLYCHLORINATED BIPHENYL (PCB), IS ENCOUNTERED ON THE SITE BY THE CONTRACTOR, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER.

GENERAL INFORMATION

ADDRESS: 3413 72ND PL SE MERCER ISLAND WA 98040

PARCEL NUMBER 130030-1360

JANE ECKELS AND HANS ANDERSEN **OWNER'S NAME:**

LEGAL DESCRIPTION: SEE SHEET A1.0

SCOPE OF WORK

REPLACEMENT OF EXISTING GARAGE (SAME FOOTPRINT), 244 SF MAIN LEVEL ADDITION, 368 SF SECOND LEVEL ADDITION, INTERIOR REMODEL PER PLANS, ADU AT EXISTING LOWER LEVEL. NOTE: MECHANICAL, ELECTRICAL, AND PLUMBING DESIGN IS NOT INCLUDED IN THIS SET. CONTRACTOR IS RESPONSIBLE FOR ANY ADDITIONAL PERMITS.

GOVERNING BUILDING CODES

WASHINGTON STATE AMENDMENTS TO CODES REFERENCED BELOW CITY OF MERCER ISLAND AMENDMENTS TO CODES REFERENCED BELOW 2021INTERNATIONAL RESIDENTIAL CODE (IRC) 2021 INTERNATIONAL EXISTING BUILDING CODE 2021 INTERNATIONAL FIRE CODE (IFC) 2021 WASHINGTON STATE ENERGY CODE (WSEC-R) 2021 INTERNATIONAL MECHANICAL CODE (IMC) 2021 UNIFORM PLUMBING CODE (UPC)

BUILDING CODE INFORMATION

1959 YEAR CONSTRUCTED OCCUPANCY GROUP R-3/U-1 TYPE OF CONSTRUCTION VN

DWELLING/GARAGE SEPARATION

WALLS NOT LESS THAN 1/2" GWB APPLIED ON GARAGE SIDE

CEILING NOT LESS THAN 5/8" TYPE X GWB

STRUCTURE SUPPORTING SEPARATION NOT LESS THAN 1/2" GWB

ZONING CODE INFORMATION

ZONING R8.4

LOT AREA 7,500 SF.PER KC RECORDS SETBACKS SEE SITE PLAN HEIGHT 31'-1" TO RIDGE

ENERGY CODE INFORMATION: SEE A0.3

CLIMATE ZONE 4C

FENESTRATION U-FACTOR (MAX) 0.30/ U-28 PROPOSED

SKYLIGHT U-FACTOR (NA) 0.50 CEILING R-VALUE (MIN) 49 SINGLE RAFTER OR JOIST VAULTED 38 WOOD FRAME R-VALUE 21 INT 21/21 MASS WALL (NA) FLOOR R-VALUE 30 BELOW GRADE WALL (NA) 10/15/21 INT + TB

SLAB ON GRADE 10, 2 FT

REQUIRED ENERGY CREDITS

1. HVAC SYSTEM FOR ADDITION SHALL BE INSTALLED PER IMC. WORK TO BE COMPLETED UNER SEPARATE PERMIT

ENERGY EFFICIENCY:

PROVIDE A PROGRAMMABLE THERMOSTAT FOR THE PRIMARY SPACE CONDITIONING SYSTEM WITHIN THE ADDITION PER SEC R40.13 A MINIMUM OF 90 PERCENT OF PERMANENTLY INSTALLED LAMPS IN LIGHTING FIXTURES SHALL BE HIGH EFFICACY PER SEC R404.11

WHOLE HOUSE VENTILATION

INTERMITTENT WHOLE HOUSE VENTILATION USING EXHAUST FAN SYSTEM PER M1505.4.4

AIRFLOW RATE 90CFM x 2 FACTOR= 180 CFM

WHOLE-HOUSE FAN LOCATED 4 FT OR LESS TO INTERIOR GRILLE SHALL HAVE A SONE RATING OF MAX 1.0. LOCATION: ADDITION LAUNDRY/DRYING

AREA	LOCAL EXHAUST RATES
KITCHEN	100 CFM INTERMITTENT
BATHROOM-TOILET ROOM, LAUNDRY	MECHANICAL EXHAUST CAPACITY 50 CFM INTERMITTENT

DRAWING INDEX

A0.3 ENERGY CODE

A1.0 SITE PLAN

A2.3 ROOF PLAN

- A0.0 GENERAL INFORMATION

A1.1 SITE PLAN CALCULATIONS

D1.0 LOWER LEVEL DEMO PLAN

A2.0 LOWER LEVEL FLOOR PLAN

A2.1 MAIN LEVEL FLOOR PLAN

A3.0 WEST/EAST ELEVATIONS

A3.1 NORTH/SOUTH ELEVATIONS

D1.1 MAIN LEVEL DEMO PLAN

- A0.1 SYMBOLS AND ABBREVIATIONS
- A0.2 ZONING
 - S2.1 FOUNDATION PLAN

A4.0 SECTIONS

A6.0 SCHEDULES

S2.2 MAIN FLOOR FRAMING PLAN

S1.1 GENERAL STRUCTURAL NOTES

- S2.3 UPPER FLOOR/LOW ROOF FRAMING PLAN
- S2.3 UPPER FLOOR/LOW ROOF FRAMING PLAN
- S2.4 ROOF FRAMING PLAN
- S3.1 TYPICAL CONCRETE DETAILS
- S3.2 FOUNDATION DETAILS
- S4.1 TYPICAL WOOD FRAMING DETAILS
- A2.2 UPPER LEVEL FLOOR PLAN
 - S4.2 WOOD FRAMING DETAILS
 - S4.3 WOOD FRAMING DETAILS
 - S4.4 WOOD FRAMING DETAILS

ARCHITECT

SALT STUDIO LLC 66 BELL STREET #1 SEATTLE, WA 98121

SALT STUDIO

T: (206) 948 2104 OWNER:

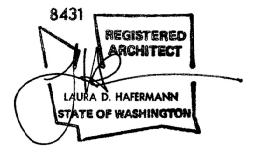
3413 72ND PL SE

(206)443-6212

STRUCTURAL ENGINEER: SWENSON SAY FAGET 2124 3RD AVE SUITE 100 SEATTLE WA 98121

MERCER IS. WA 98040

JANE ECKELS/HANS ANDERSEN



ECKELS ANDERSEN ADDITION

3413 72ND PL SE MERCER IS, WA 98040

> PERMIT SET

MAY, 2024 DATE: PROJECT#: 157 SCALE: AS NOTED

50% SD 02/14/23 100% SD 03/24/23 PRELIM. PRICING 05/01/23

REV 1 10/23/23 REVISED SCOPE 12/15/23 **OPTIONS 02/02/24**

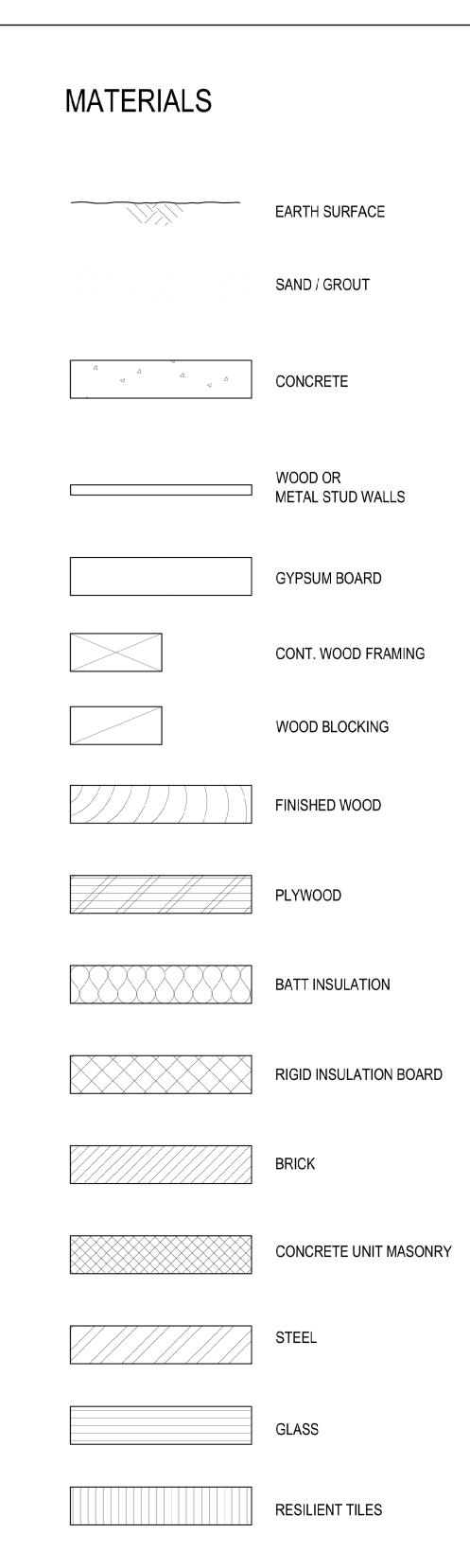
PERMIT 05/28/24

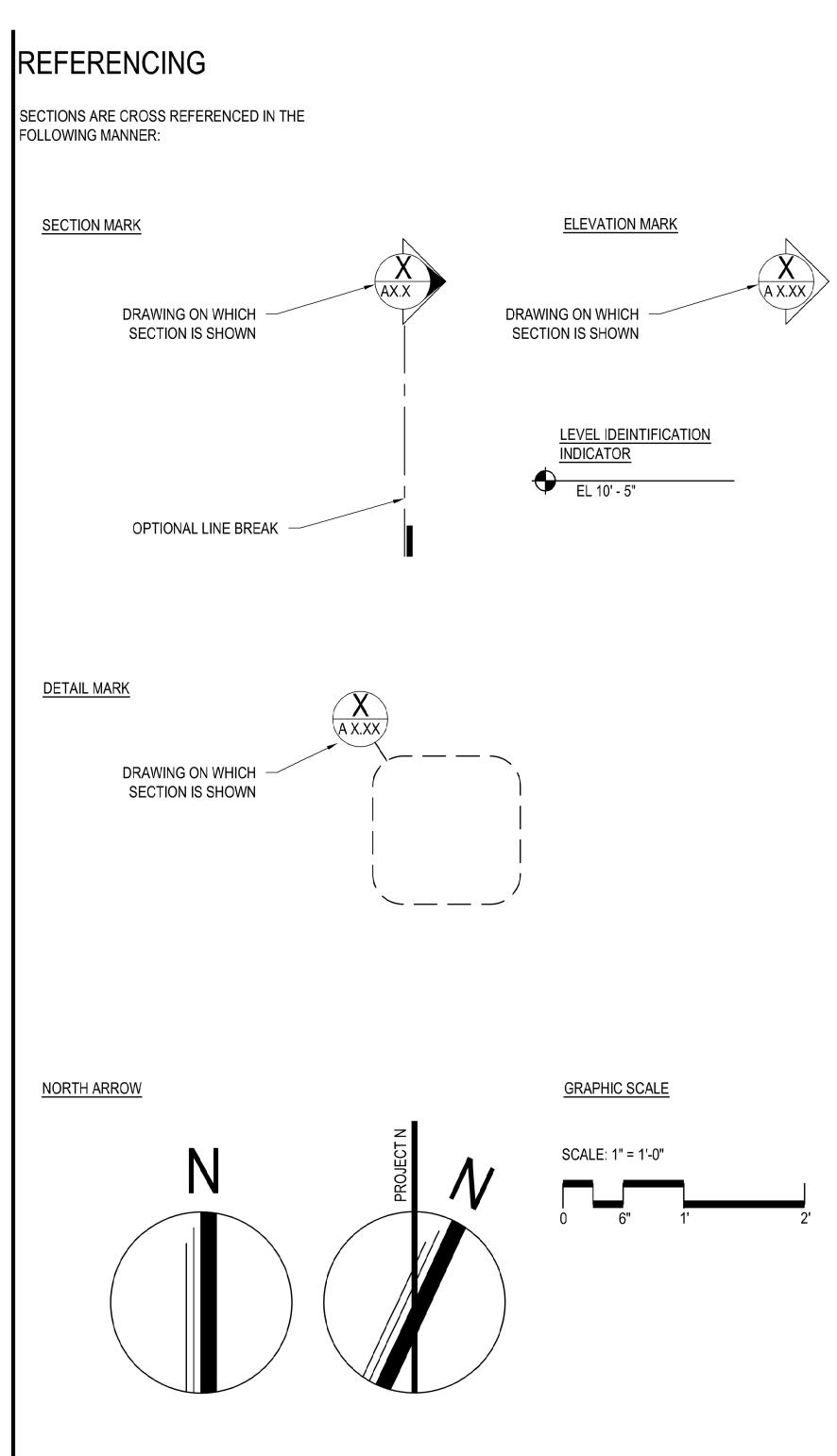
DESIGNED: LH

DRAWN: REVIEWED: LH

INFORMATION

GENERAL





SYMBOLS GRIDLINE MARK (GL 102 DOOR IDENTIFICATION MARK (A) WALL TYPE MARK FIRE EXTINGUISHER CABINET FΕ **KEY NOTE** DOWN SPOUT \bigcirc DS **REVISION CLOUD REVISION DELTA** ____ _ _ _ _ _ _ _ _ E CENTER LINE R PROPERTY LINE HIDDEN OR EXISTING CONSTRUCTION **BREAK LINE**

ABBREVIATIONS

ACC. (AOLENNOTILE) FLG. FLANSEL PT PANT ACC. (AOLEN)	AB	ANCHOR BOLT	FLR	FLOOR	P LAM	PLASTIC LAMINATE
ADJ			FLG	FLANGE		
ADJUSTACE FRC FIRST REINFORCET CONCRETE PRV POMER ROOF VENT			FRPF	FIREPROOF, FRAME	PREFIN	PREFINISHED
APPL			FRC		PRV	POWER ROOF VENT
AULIA ALMANULING UNIT			FSB	FOOD STORAGE BUILDING	PSF	LBS PER SQUARE FOOT
PAUM				FOOTING		
SOURCE S						
BTILD						
BITUM						•
BUICH NO. BUIC						
BLKG BLOCKING WACHINE GR GRULD GRULD GRUDT GROOT PORTAL						
BLK				, , , , , , , , , , , , , , , , , , ,		
BAM				GROUND		
BOTT			GR	GRADE		
BIRG BEARING GWI GRAVITY ROOFVENT RHMS ROUND HEAD MACHINE BUR BULT-UP ROOFING GWT GLAZED WALL TILE RM ROUND HEAD WOOD CFT CARPET GYP GYPSUM WALL TILE RM ROUND HEAD WOOD CHB CARPET GYP GYPSUM RM ROUND HEAD WOOD CHB CKEMIT HC GYPSUM RM ROUNG POPRING CHM CKEMIT HC HANDICASPED SD SOAP DISPENCER CHAN CHANNEL HDMD HARDWOOD SECT SECTION CL CENTER LINE HM HOLLOW METAL SIT SHECT MANDRAL CL CERLING HPT HIGH POINT SHT SHECT CAMIL CONGRETE MASONRY UNIT HORD HANDRAL SM SHECT COLL COLLIAN HR HGGT SAN ANAPKIN BEPSENSE CON COMPRESSION COMPACTED HAY HORIZ HEATTHON SHILLATION & AIR CONDITIONING SP SPACE <			GRL	GRILLE		
BUR BULT-UP ROOFING GWIS GYPSUM WALL BOARD RHMS ROUND JEAD WOODD CPT CARPET GYP GYPSUM RO ROUND JEAD WOODD CPT CARPET GYP GYPSUM RO ROUND JEAD WOODD CHEM CHANARDARD HB HOSE BIB RWL RANWATER LEADER CHAN CHANNEL HDWD HARDWOOD SECT SECTON CHAN CHANNEL HBM HARDWOOD SECTON SECTON CLG CEILING HM HOUND METAL SHR SHOWER CLG CEILING HPT HIGH POINT SHR SHOWER CMI CERANIC MOSAI TUE HGT HORDEL HANDRAL SMR SHEET METAL SCREW COL CLIEAN OUT HCRZ HORIZONTAL SMS SAN NAPRIN DISPENSER COMPRESSION, COMPACTED HVAC HEATING, VENTILATION & AIR CONDITION SP SPEC SPECUFICATION COMPRESSION, COMPACTED HYAC HEATING, VENTILATION & AIR CONDITION SP SPEC	ВОТ	BOTTOM	GRV	GRAVITY ROOF VENT		
DEF. DEL - DP - LOVING GW	BRG	BEARING	GWB	GYPSUM WALL BOARD		
CHED CARPET GYP GYPSUM RC ROLGH DOPENING COMPONING CHBD CHALARDOARD H3 HOSE BIB R.W. ARMONATER LEADER CHAN CHANICLA H3M HOSE BIB R.W. ARMONATER LEADER CHAN CHANICLA H3M HADDROOD SECT SECTON CLA CENTER LINE H3M HADROOD SECT STEUCTURAL PACING TILE CLG CEILING H7M HOULDW METAL SHR SHOWER CMI CERAMIC MOSANCTURE H5T HADRAL SIM SIMLUR COL CLEAN DUT H5T HORIZONTAL SND SANITARY NAPKIN RECEPTACL COL COLUMN H7 H0RIZ H6VAC H2ATING VENTILATION & AIR CONDITIONING SPEC SPECIFICATION CONT CONTRACTOR INSUL INSUL INSUL STANLARAD STANLARAD DIA DIAMETER JST STANLARAD STANLARAD STANLARAD DIA DUMETER JST	BUR	BUILT-UP ROOFING	GWT	GLAZED WALL TILE		
CHE DISTRICT CHAUSDARD HB HOSE BIB RWL RANIMATER LEADER CEM CEMENT HC HANDIGAPPED SD SOAP DISPENSER CHANNEL HOWD HARDWOOD SECT SECTION CL CONTRUCTION JOINT HEX HEAD MACHINE SCREW SET STEUTICHEAL FACING TILE CLG CELING H PF HIGH POINT SHT SHEDT CMU COXINGREE MASONRY UNIT HORD HANDBALL SIM SIMILAR CMI COXINGREE MASONRY UNIT HORIZ HORIZ SMS SHEET METAL SCREW COL CLEAN DUT HORIZ HORIZ SMS SHEET METAL SCREW COL CLEAN DUT HORIZ HORIZ SMS SMILER COL COLWIN HR HOUR HEXTENDIAL SMS SHEET METAL SCREW COL COLWIN HR HOUR HEATTH AND SCREW SMS SANTARY NAMEN RECEPTAGE COL COLWIN COLWIN HAVE HEATTH AND SCREW SMS	CPT	CARPET	GYP	GYPSUM		
CEMENT HC HANDICA-PRED SD SOAP DISPENCER CHAN CHANNEL HDW HARDWOOD SECT SECTION CJ CONSTRUCTION JOINT H+M HEX HEAD MACHINE SCREW SFT STRUCTURAL FACING TILE CLG CELING H+PI HIGH POINT SHT SHEET CMU CONCRETE MASONRY UNIT HNDRL HANDRAL SIM SIMILAR CMT CERANIC MOSAIC TILE HST HERCHT SMS SHEET METAL SCREW COL CLUMN HR HOUR HORIZONTAL SMS SANL ARPINIO DISPENSER COMP COMPRESSION COMPACTED HAC HEATING, EVENTLATION & AIR CONDITIONING SP SPACE CONTE CONTECTOR INSULATION SST SANLARY NAPINI DISPENSER CONTE CONTRACTOR INSULATION SST STANLESS STEEL CONTR CONTRACTOR INST INSTALLATION SST STANDARD DBL DOUBLE INT INSTALLATION SST STANDARD </td <td>CH BD</td> <td>CHALKBOARD</td> <td>HB</td> <td>HOSE BIB</td> <td></td> <td></td>	CH BD	CHALKBOARD	HB	HOSE BIB		
CHANNEL HOWD HARDWOOD SECT SECTION CJ CONSTRUCTION JOINT HEX HEAD MACHINE SCREW STT STRUCTURAL, FACING TILE CLG CELING HM HOLLOW METAL SHR SHOWER CMU CONCRETE WASONRY UNIT HNDR. HADRAIL SIM SMILLAR CAT CERALIG MOSAIC TILE HOT HORIZONTAL SNS SHEET METAL SCREW COL CLEAN LOUT HORIZONTAL SNS SAN, INAPKIN DISPENSER COL CLEAN LOUT HORIZONTAL SNS SAN, INAPKIN DISPENSER COL CLEAN LOUT HORIZONTAL SNS SAN, INAPKIN DISPENSER COL COLANDA HR HOLR SNS SAN, INAPKIN DISPENSER CONC CONFECTOR HYAC HEATING, VENTILATION & AIR CONDITIONING SNF SANCE CONC CONTRACTOR INSTIL INSTILLATION ST STANLARS STELL CONC CONTRACTOR INSTIL INSTILLATION STD STANLARS STELL CONC	CEM	CEMENT	HC	HANDICAPPED		
CONSTRUCTION JOINT	CHAN	CHANNEL	HDWD	HARDWOOD		
CL CENTER LINE HM HOLLOW METAL STR SHRCWER SHRCWER CLG CEILINE HPT HIGH POINT SHT SHET SHET CMU CONCRETE MASONRY UNIT HNDRL HADRAIL SIM SIMILIAR CMT CERAMIC MOSAIG TILE HOR Z HORIZONTAL SND SAN LARGEN DISPENSE COL COLAN OUT HOR Z HORIZONTAL SND SAN LARGEN DISPENSE COL COLUMN HR HOUR SNR SAN LARGEN DISPENSE COMC CONCRETE D INSUE LA TION ASIA CONDITIONING SP SAN SANTARY NAPKIN RECEPTACL CONT CONTRACTOR INSU INSUELATION ST SPEC SPECIFICATION CONT CONTRACTOR INSU INSULATION ST STAILES STEEL CONT CONTRACTOR INSU INSULATION ST STAILES STEEL DET DETAIL INY INTERIOR ST STEEL DET DETAIL INY I	CJ	CONSTRUCTION JOINT	HHMS			
CLG CEILING H PT HIGH POINT SHT SHOWER CMU CONCRETE MASONAY UNIT HADRAL SIM SIMLAR CMT CERAMIC MOSAIC TILE HGT HEIGHT SMS SHEET METAL SCREW CO CLEAN OUT HORZ HORIZONTAL SMD SAN NAPRIN DISPENSER COL COLUMN HR HOUR SMR SAN SAN SHEET METAL SCREW COMP COMPRESSION, COMPACTED HYAC HEATING, VENTILLATION & AIR CONDITIONING SP SANC CONC CONTRECTOR INSUL INSUL DIAMETER SPEC SPEC/FICATION CONTR CONTRACTOR INSUL INSULATION SST STANDARD DEL DOUBLE INT INSTELLATION STD STANDARD DEL DOUBLE INT INSTELLATION STD STANDARD DETAL INT JAN JANITOR STRUC STRUC STRUC DETAL INT JOINT SND T TOP, TEL TERAD TOP, TEL TERAD		CENTER LINE				
CMU CONCRETE VASONRY UNIT HNDRL HANDRAIL SIM SIMLER CMT CERAMIC MOSAIC TILE HST HEIGHT SIM SIMLER CO CLEAN OUT HOTE HORZONTAL SND SAN JAPKIN DISPOSER COL COLUMN HR HOUR HORZONTAL SND SAN JAPKIN DISPOSER COVE COLUMN HR HOUR HEATING VENTILATION & AIR CONDITIONING SP SPACE CONT CONTRACTOR INSUL INSULATION ST SST SST/INCERTON CONT CONTRACTOR INSUL INSULATION ST STANIDARD CONV. CONVECTOR INST. INSTALLATION ST STANIDARD DBL DUBLE INT INTEGRAT INT INTEGRAT ST STRUCTURAL DF DRINKING FOUNTAIN JAN JANITOR SUSP SUSPENDED DIM DIMETER JT JOINT SIND T TOP, TILE, TREAD DIM DIMENSION <t< td=""><td>CLG</td><td>CEILING</td><td></td><td></td><td></td><td></td></t<>	CLG	CEILING				
CMT CERAMIC WOSAIC TILE HGT HEIGHT HEIGHT SIMS SMEET METAL SCREW CO CLEAN OUT HORIZOTAL SMS SAN ANAPKIN DISPENSER COL COLUMN HR HOUR SNR SANITARY NAPKIN RECEPTACL COMP COMPRESSION, COMPACTED HVAC HEATING, VENTILATION & AIR CONDITIONING SP SPACE CONT CONTROLOGY INSUL INSIDE FACE SPEC SPECIFICATION CONTR CONTRACTOR INSUL INSULIATION SST STAINLESS STEEL DBL DOUBLE INT INTERIOR STL STEL DF DETAIL INV INVERT STRUC STRUCTURAL DF DERINGHIG FOUTAIN JA JAMITOR STRUC STRUCTURAL DISP DISPENSER LP LOWFONT TOP, TILE, TREAD DISP DISPENSER LP LOWFONT TERR TERRAZZO DN DOWN MAX MAXIM.M TA TOP, TILE, TREAD	CMU					
COL CLEAN OUT HORIZ HORIZONTAL SMS SAM SAME METAL DISPENSER COL COLUMN HR HOUR SND SAN NAPKIN DISPENSER COMP COMPRESSION. COMPACTED HR HOUR SPE SPEC CONT CONCRETE ID INSIDE DIAMETER SPEC SPECIFICATION CONT CONTRACTOR INSUL INSUL INSULATION SST STAINLESS STEEL CONT CONTRACTOR INSUL INSULATION SST STAINLESS STEEL CONY. CONTRACTOR INSUL INSULATION SST STAINLESS STEEL DET DETAIL INV INVERT STE STEL STEL DET DETAIL INV INVERT STE STRUCT STRUCT STEVEL DIA DIAMETER JS JOIST SND T TOP, TILE, TREAD DIM DIMENSION JT JOINT SND TEMPORARY TEMPORARY DISP DISPENSER LAV LAV LAVACTAR						
COLL COLUMN COMP HR HOUR SND SAN, PART INTERESTER COMP COMPRESSION. COMPACTED HYAC HEATING VENTILATION & AIR CONDITIONING SP SPACE CONT CONCRETE ID INSIDE DAMETER SPEC SPECIFICATION CONT CONTRINGUIS IF INSIDE FACE S SK SERVICE SINK CONTR CONTRACTOR INSUL INSULATION STS STANLESS STEEL CONTR CONTRACTOR INSTL INSTALLATION STD STANDARD DBL DOUBLE INT INTERIOR STD STANDARD DET DETAIL JAN JANUTER STBL STRUC STRUCTURAL DF DIRIKING FOUNTAIN JAN JANITOR SUSP SUSPENDED SUSPENDED DIA DIMENSION JT JOINT SND T TOP, TILE, TREAD DIM DIMENSION JT JOINT SND T TOP, TILE, TREAD DIM DIMENSION MERCANAL L						
COMP COMPRESSION, COWPACTED HVAC HEATING, VENTILATION & AIR CONDITIONING SP SPACE CONC CONCRETE ID INSIDE DIAMETER SPEC SPECIFICATION CONT CONTRACTOR INSU INSULATION SST STANLESS STEEL CONV. CONVECTOR INSTL INSTLALATION SST STANLESS STEEL DBL DOUBLE INT INTERIOR STD STANDARD DET DETAIL INV INVERT STS STANDARD DET DERINING FOUNTAIN JAN JANITOR STS STRUCTURAL DIA DIAMETER JST JOINT SND T TOP, TILE, TREAD DIM DIMENSION JT JOINT SND TEM TEMPORARY DIM DIMENSION MA MAXIMUM TEG TEMPORARY DIM DIMENSION MA MAXIMUM TAG TOMOGUE & GROOVE DN DOWN MA MAXIMUM TAG TOMOGUE & GROOVE <td< td=""><td></td><td></td><td></td><td></td><td></td><td></td></td<>						
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			PL	PLATE		



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ECKELS ANDERSEN ADDITION

3413 72ND PL SE MERCER IS, WA 98040

> **PERMIT** SET

DATE: MAY, 2024 PROJECT#: 157 SCALE: AS NOTED

50% SD 02/14/23 100% SD 03/24/23 PRELIM. PRICING 05/01/23 REV 1 10/23/23 REVISED SCOPE 12/15/23 OPTIONS 02/02/24

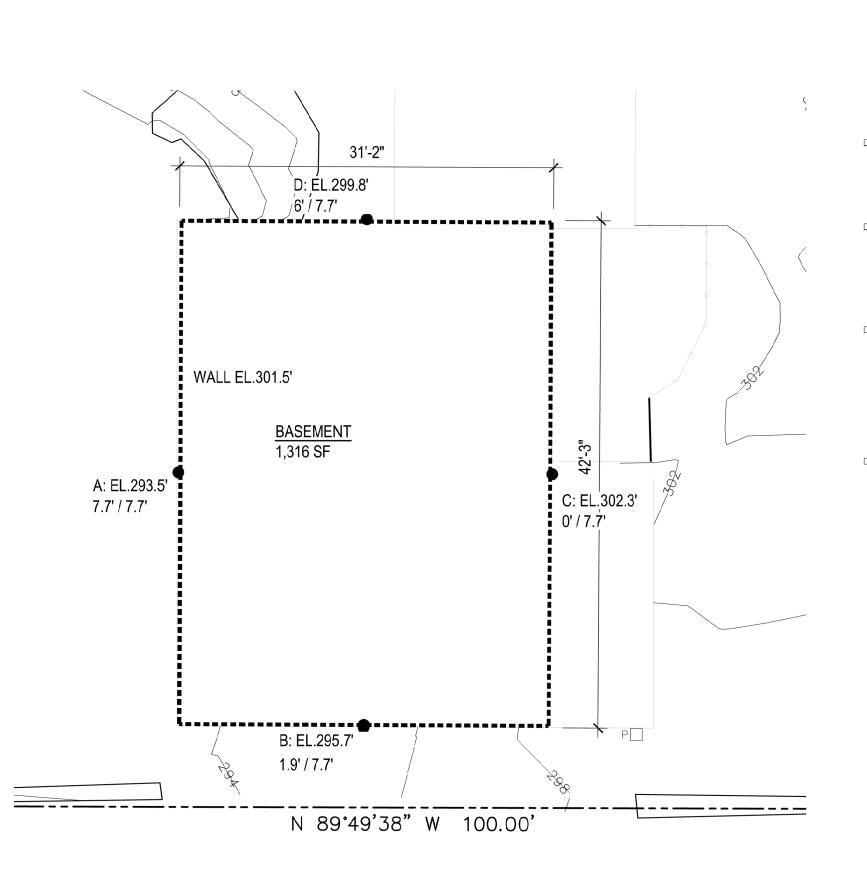
PERMIT 05/28/24

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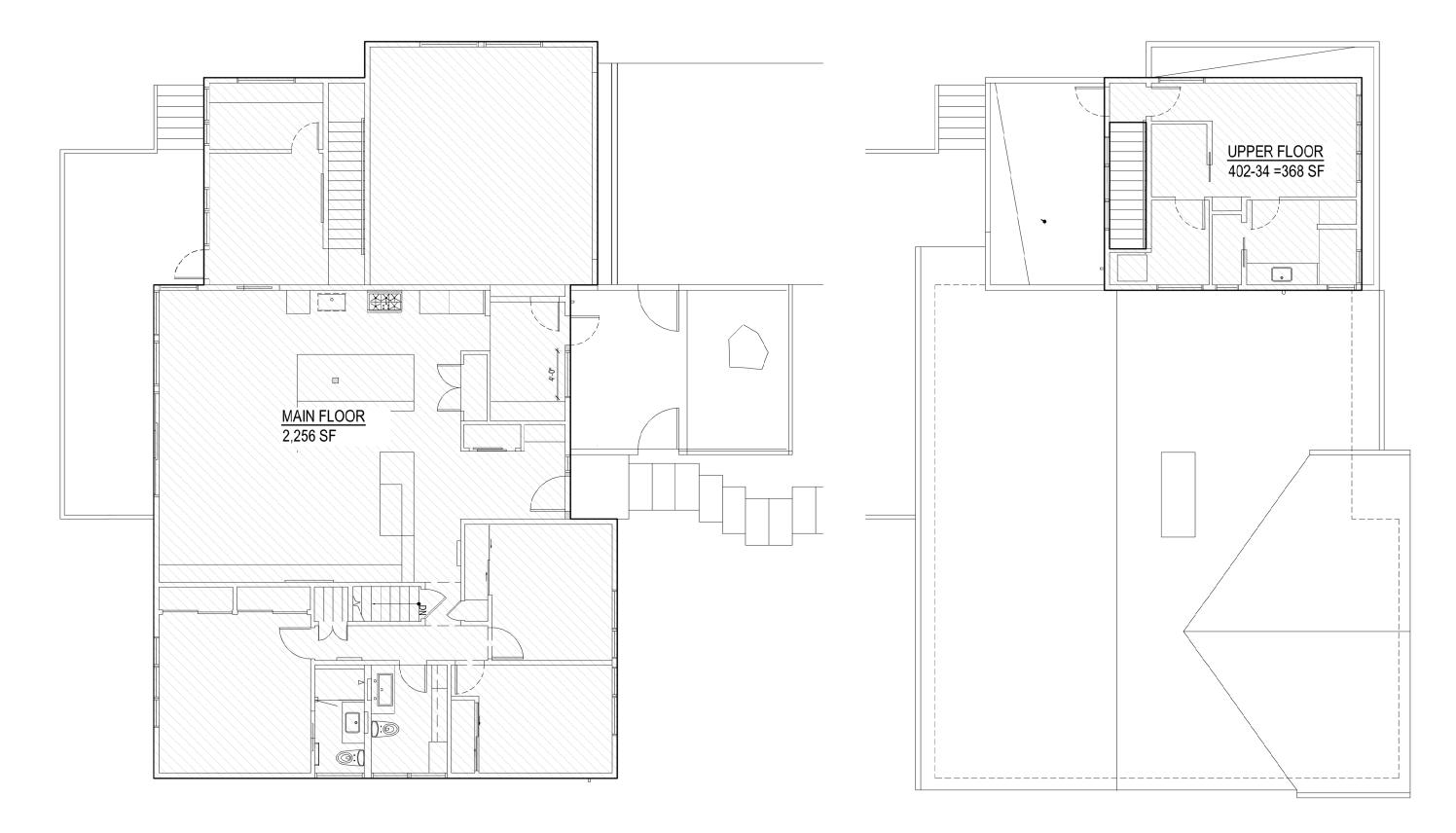
> SYMBOLS AND **ABBREVIATIONS**

DIMENSIONING STANDARDS

- 1. DO NOT SCALE DRAWINGS FOR DIMENSIONS. DIMENSIONS ARE INDICATED IN THE DOCUMENTS.
- 2. ALL INTERIOR PARTITIONS ARE DIMENSIONED TO THE FACE OF WALL UNLESS
- NOTED OTHERWISE.
- 3. THE TERM "EQUAL" OR "EQ" IS USED IN LIEU OF ACTUAL DIMENSIONS WHERE
- EQUAL SPACING OF ELEMENTS IS REQUIRED. 4. THE TERM "CLEAR" OR "CLR" IS USED TO DENOTE A MINIMUM DIMENSIONAL
- REQUIREMENT. HOWEVER, THE DIMENSION COULD BE LARGER.
- 5. WALLS CENTERED ON A COLUMN OR GRIDLINE WILL NOT BE DIMENSIONED ON
- PLANS BUT WILL BE DRAWN AS INDICATED BELOW.



LOWER FLOOR
1,316-20 =1,296 SF



TOTAL

PERCENTAGE OF BASEMENT WALL BELOW GRADE 74.3/147'=51%

AREA OF BASEMENT BELOW GRADE (EXCLUDED FROM GFA)

51% OF 1,296 SF = 661 SF

GROSS FLOOR AREA CALCULATIONS
ALLOWABLE 40% OF LOT AREA (7,500) =3,000 SF

5% OF 7,500=375 SF INCREASE FOR ADU

3,375 SF

PROPOSED (1,296-661) + 2,256 + 368 = 3,259 SF

GROSS FLOOR AREA CALCULATIONS

SCALE: 1/8" = 1'-0"

ELEV. 290.1"

2 LOT COVERAGE CALCULATIONS

SCALE: 1/8" = 1'-0"

TOTAL OF WALL & COVERAGE WALL SEGMENT LENGTH x RESULT COVERAGE 42.3' 100% 42.3' 31.2' 7.7' 24.7% 42.3' 0% 24.3' 31.2' 77.9% 74.3' 147'

LOT COVERAGE CALCULATIONS
ALLOWABLE 40% OF LOT AREA (7,500) =3,000 SF

10,70 0. 20.711 (2,7000) 0,000

PROPOSED 2,466 +505 = 2,971 SF

HARDSCAPE/LANDSCAPED AREA CALCULATIONS
ALLOWABLE 60% OF LOT AREA (7,500) =4,500 SF

9% OF LOT AREA = 675 SF, 755 SF ADDITIONAL PER 19.02.020.3.b.i.a

2,466+505+275+105+ 98+141+26= 3,616 SF

SLOPE CALCULATIONS
HIGHEST ELEV. POINT 303.4'
LOWEST ELEV. POINT 209.1'
ELEV. DIFFERENCE 13.3'
HORIZ. DISTANCE 124.8'

SLOPE 10.7%

-----N 89°49'38" W 100.00' ELEV. 303.4" OUTLINE OF EXIST. — ROCKERIES BELOW DECK DRIVEWAY 505 SF <u>DECK</u> 275 SF PROPOSED PATIO 105 SF HOUSE 2,466 SF SLOPE 00.00,00" W 75.00' ENTRY PATH 98 SF (E)ROCKERY (E)ROCKERY 26 SF 141 SF

N 89°49'38" W 100.00'

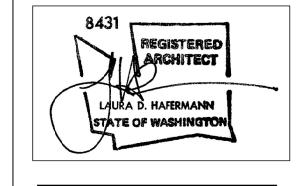
0 1' 2' 3' 4' 6' 10' 15' 20'



ARCHITECT
SALT STUDIO LLC
66 BELL STREET #1
SEATTLE, WA 98121
T: (206) 948 2104

OWNER: JANE ECKELS/HANS ANDERSEN 3413 72ND PL SE MERCER IS, WA 98040

STRUCTURAL ENGINEER: SWENSON SAY FAGET 2124 3RD AVE SUITE 100 SEATTLE WA 98121 (206)443-6212



ECKELS ANDERSEN ADDITION

3413 72ND PL SE MERCER IS, WA 98040

> PERMIT SET

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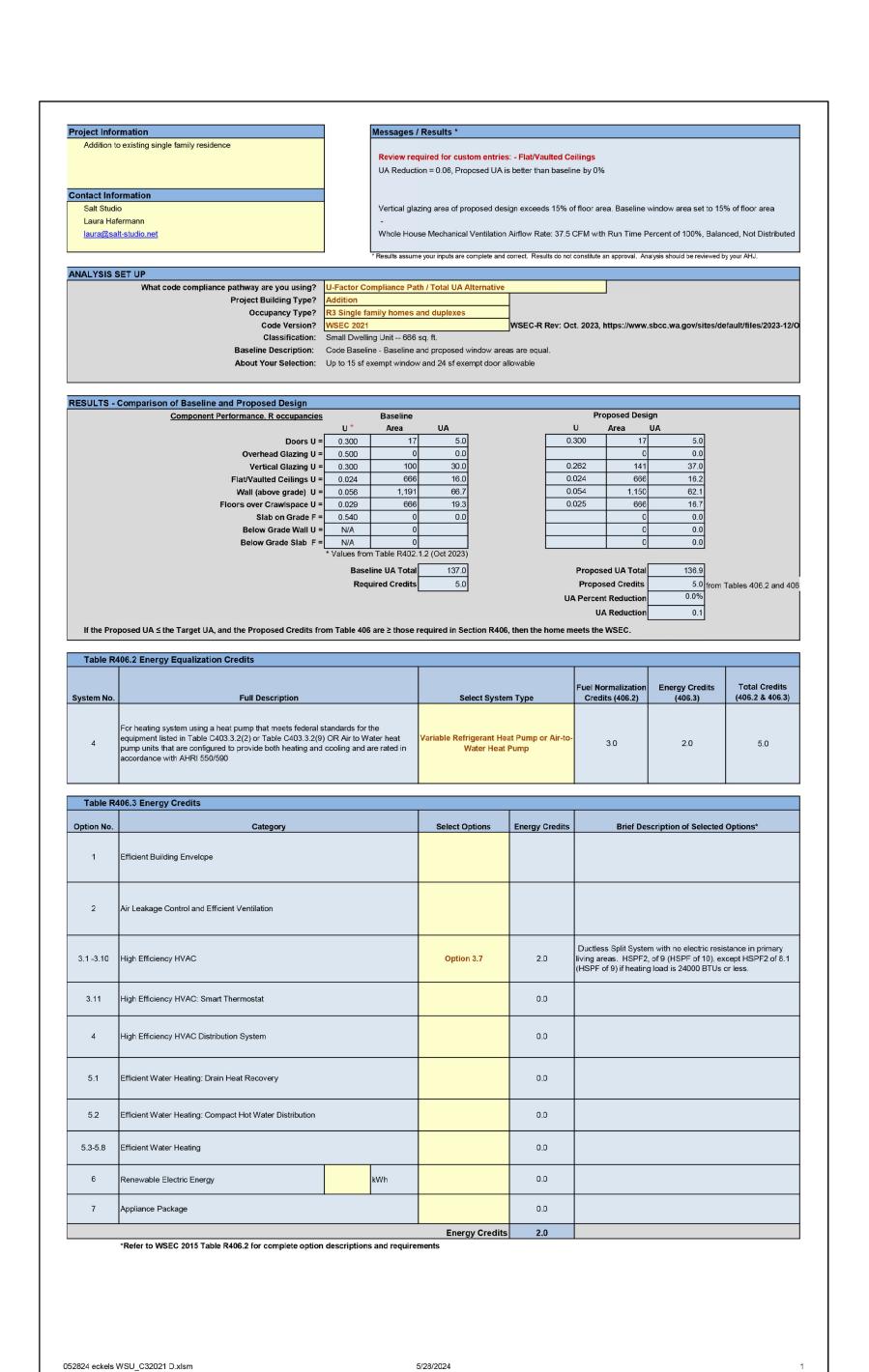
OPTIONS 02/02/24
PERMIT 05/28/24

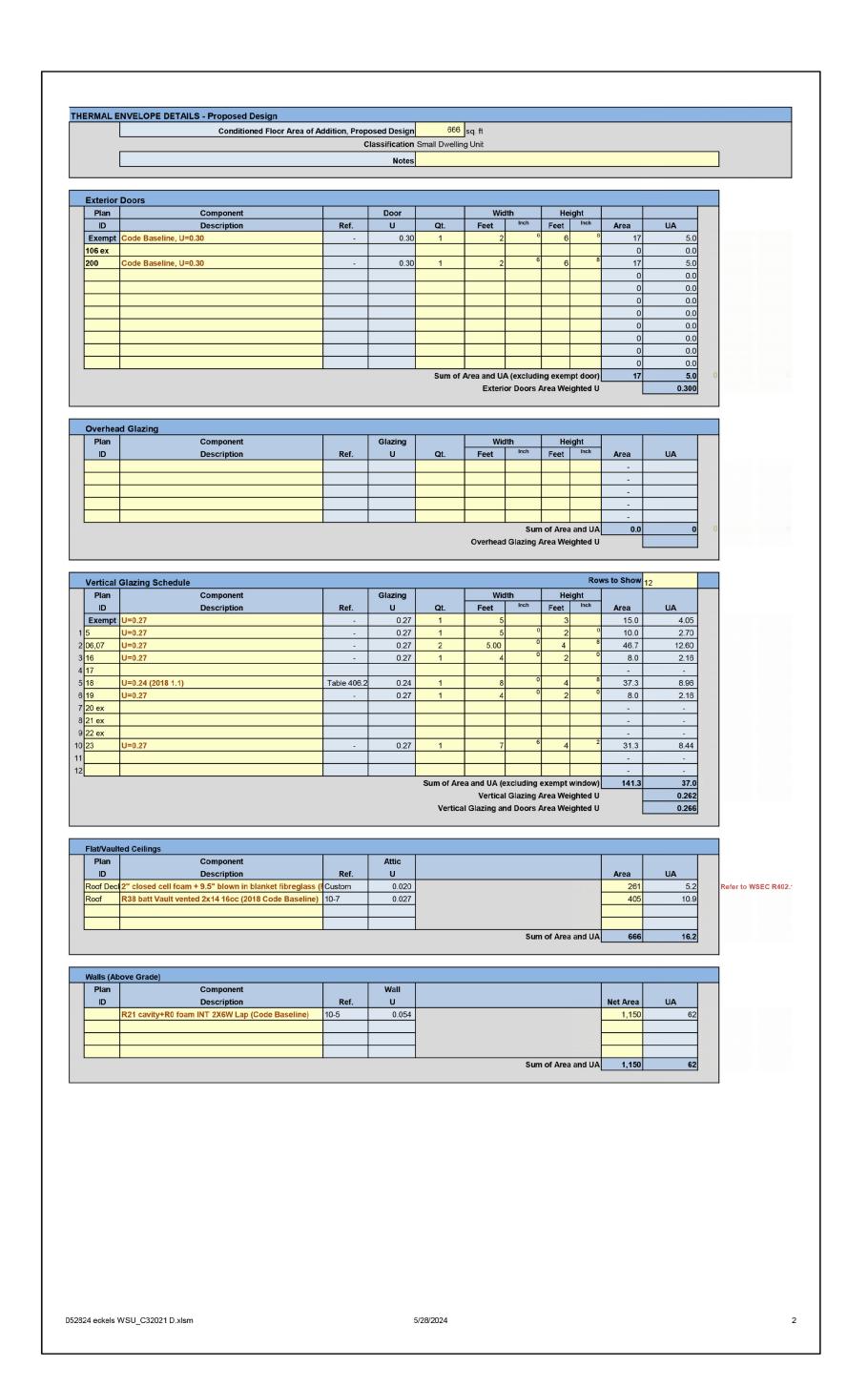
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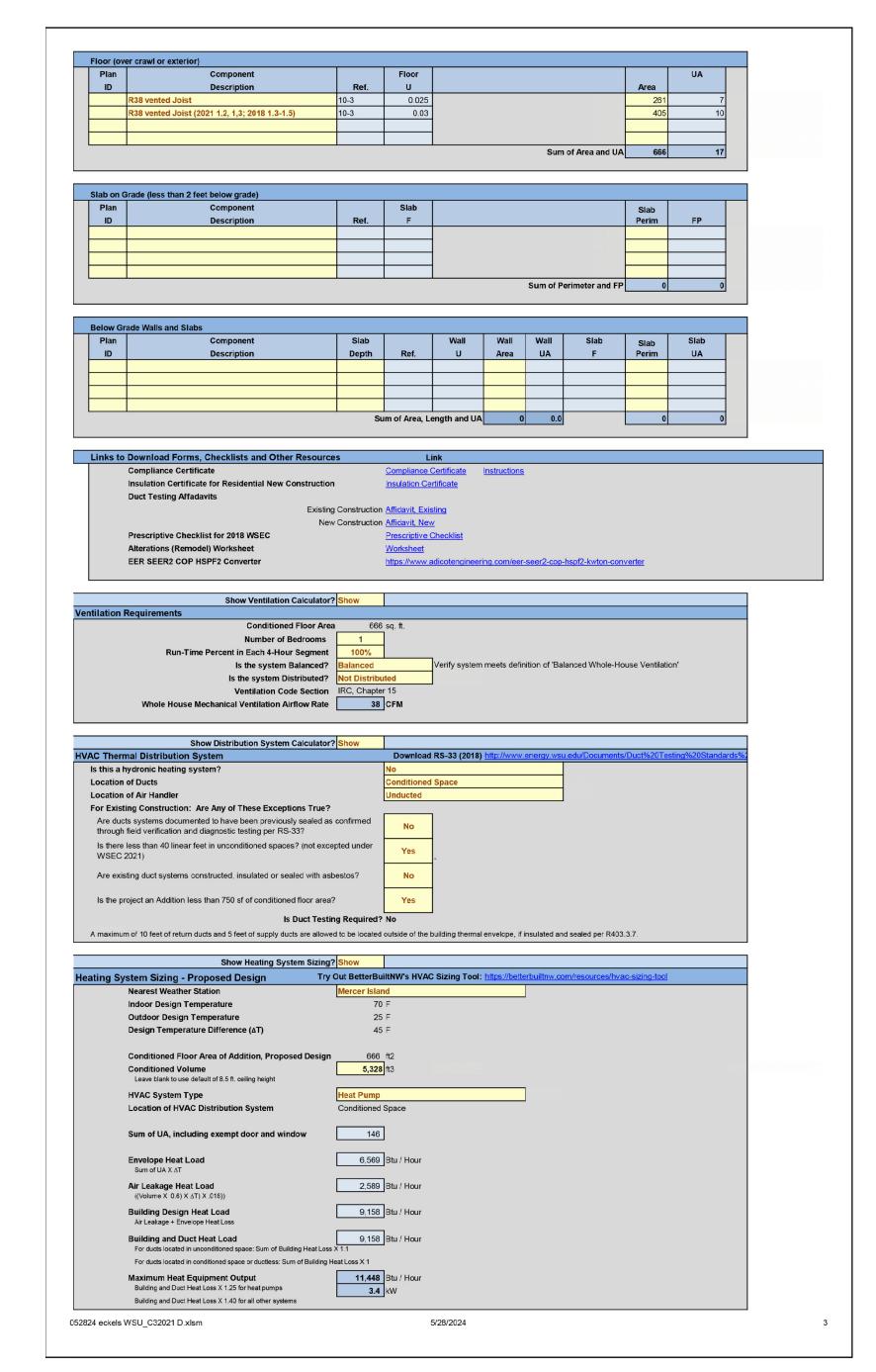
ZONING CODE INFORMATION

LH

A0.2



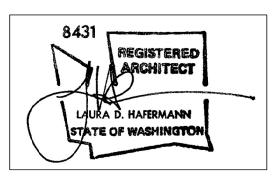






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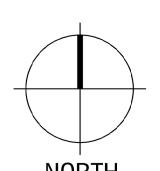
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DESIGNED: LH
DRAWN: LH
REVIEWED: LH

ENERGY CODE INFORMATION

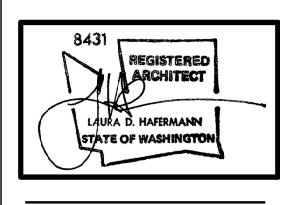
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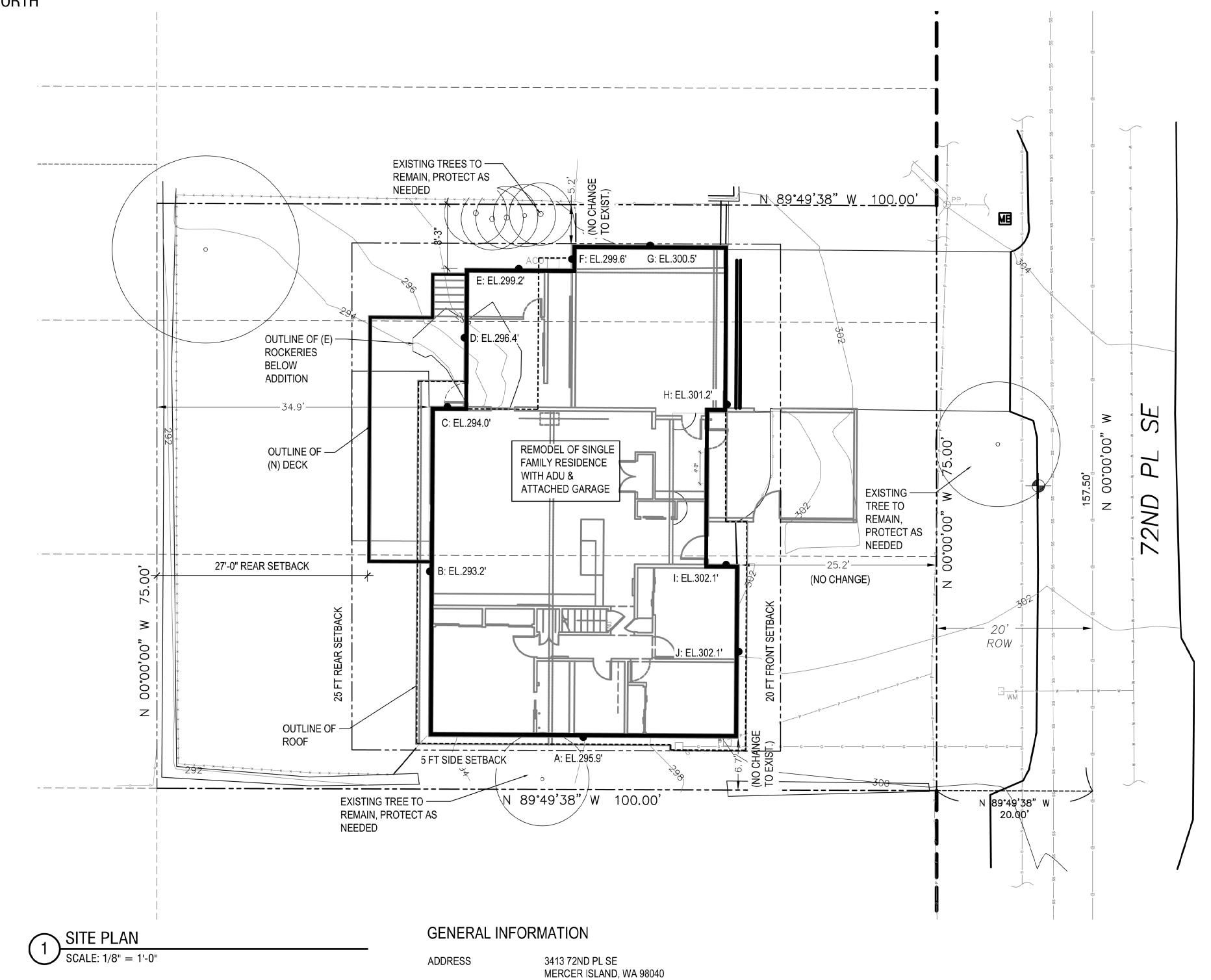
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OPTIONS 02/02/24
PERMIT 05/28/24

DESIGNED: LH
DRAWN: LH
REVIEWED: LH

SITE PLAN

A 1.0



PARCEL No

OWNERS

LEGAL DESCRIPTION:

130030-1360.

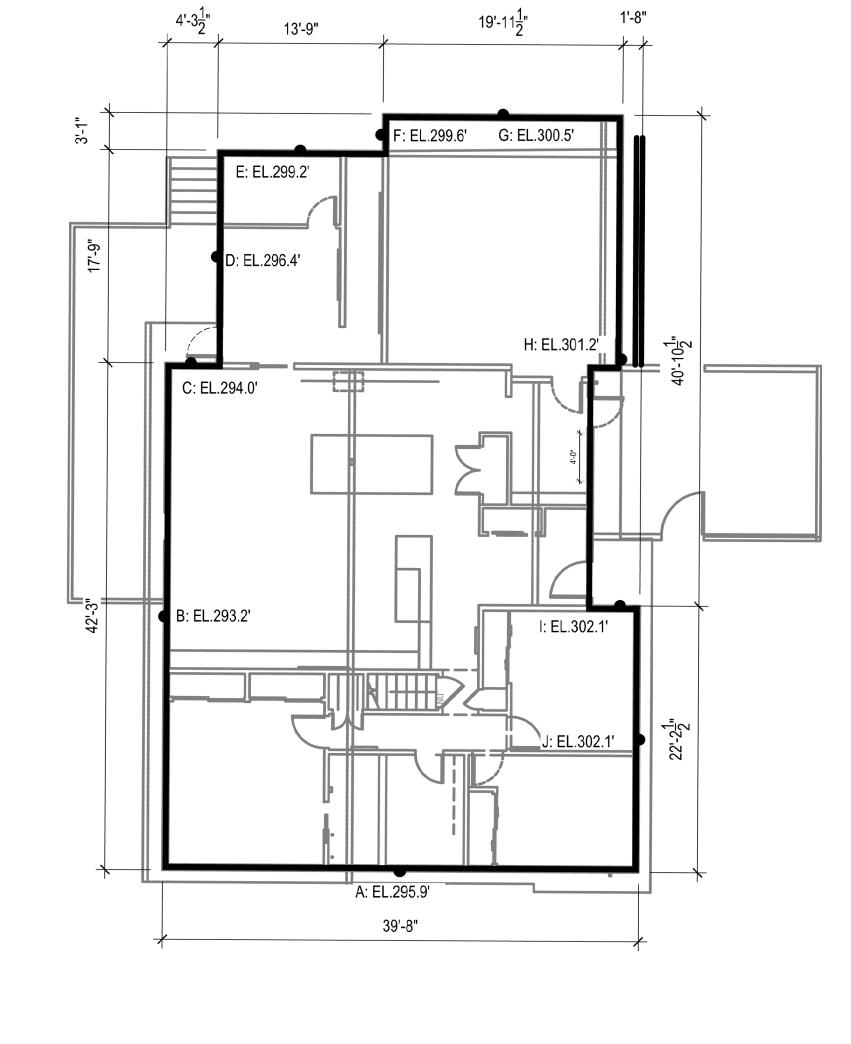
COUNTY, WASHINGTON.

JANE ESKELS AND HANS ANDERSON

LOTS 4 AND 5 AND THE SOUTH 15 FEET OF LOT 3, BLOCK 5, C.C. CALKINS FIRST ADDITION TO EAST SEATTLE, ACCORDING TO THE PLAT THEREOF

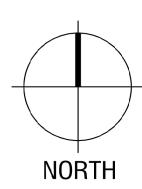
RECORDED IN VOLUME 4 OF PLATS, PAGE(S) 88, RECORDS OF KING

SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON.



WALL SEGMENT	MIDPOINT ELEVATION	WALL SEG. LEGTH	PRODUCT
А	295.9	39.7	11,747.2
В	293.2	42.3	12,402.4
С	294.0	4.3	1,264.2
D	296.4	17.8	5,275.9
E	299.2	13.8	4,129.0
F	299.6	3.1	928.8
G	300.5	19.9	5,980.0
Н	301.2	40.9	12,319.1
I	302.1	1.7	513.6
J	302.1	22.2	6,706.6
TOTAL		205.7	61266.8
A	BE		EL. 297.8'
ALLOWAB	LE HEIGHT		EL. 327.8'
PROPOSE	D HEIGHT		EL. 322.8'

AVERAGE BUILDING ELEVATION





N 89°49'38" W 100.00' NEW & REPLACED REPLACED DRIVEWAY PORTION OF HOUSE 659 SF 505 SF EXIST. ROCKERY **BELOW** NEW & NÉW DECK **ENTRY** REPLACED 275 SF **SPATIO NEW ENTRY** EXIST.HOUSE TO REMAIN 1,751 SF 98 SF W "00'00'00 EXIST. ROCKERY TO REMAIN 141 SF EXIST. ROCKERY TO REMAIN 26 SF N 89°49'38"/W 100.00'

ADDED AREA OF PATIO 37 SF

REMOVED DECX
48+15-61 SF

REMOVED BAVES
52-16-23-69 SF

N. 89-19-38 W. 100.00

HARDSCAPE CALCULATIONS

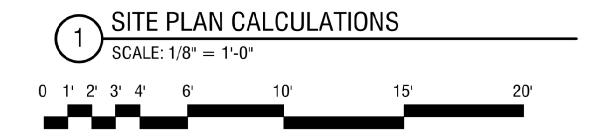
NEW OR REPLACED 659+275+56+505+105+98=<u>1,698 SF LESS THAN 2,000 SF</u>

EXISTING TO REMAIN 1,751+141+26=1,918 SF

IMPERVIOUS CALCULATIONS

ADDED AREAS 327+98+34=459 SF REMOVED AREAS 61+69=130 SF

TOTAL NEW <u>329 SF LESS THAN</u>

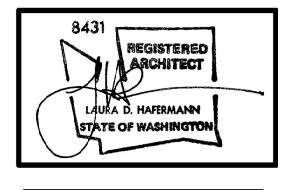


ADED\((0.10 0.11 0.11 AE(0.10

61+69=130 SF 329 SF LESS THAN 500 SF ARCHITECT SALT STUDIO LLC 66 BELL STREET #1 SEATTLE, WA 98121 T: (206) 948 2104

OWNER: JANE ECKELS/HANS ANDERSEN 3413 72ND PL SE MERCER IS, WA 98040

STRUCTURAL ENGINEER:
SWENSON SAY FAGET
2124 3RD AVE SUITE 100
SEATTLE WA 98121
(206)443-6212



ECKELS ANDERSEN ADDITION

3413 72ND PL SE MERCER IS, WA 98040

> PERMIT SET

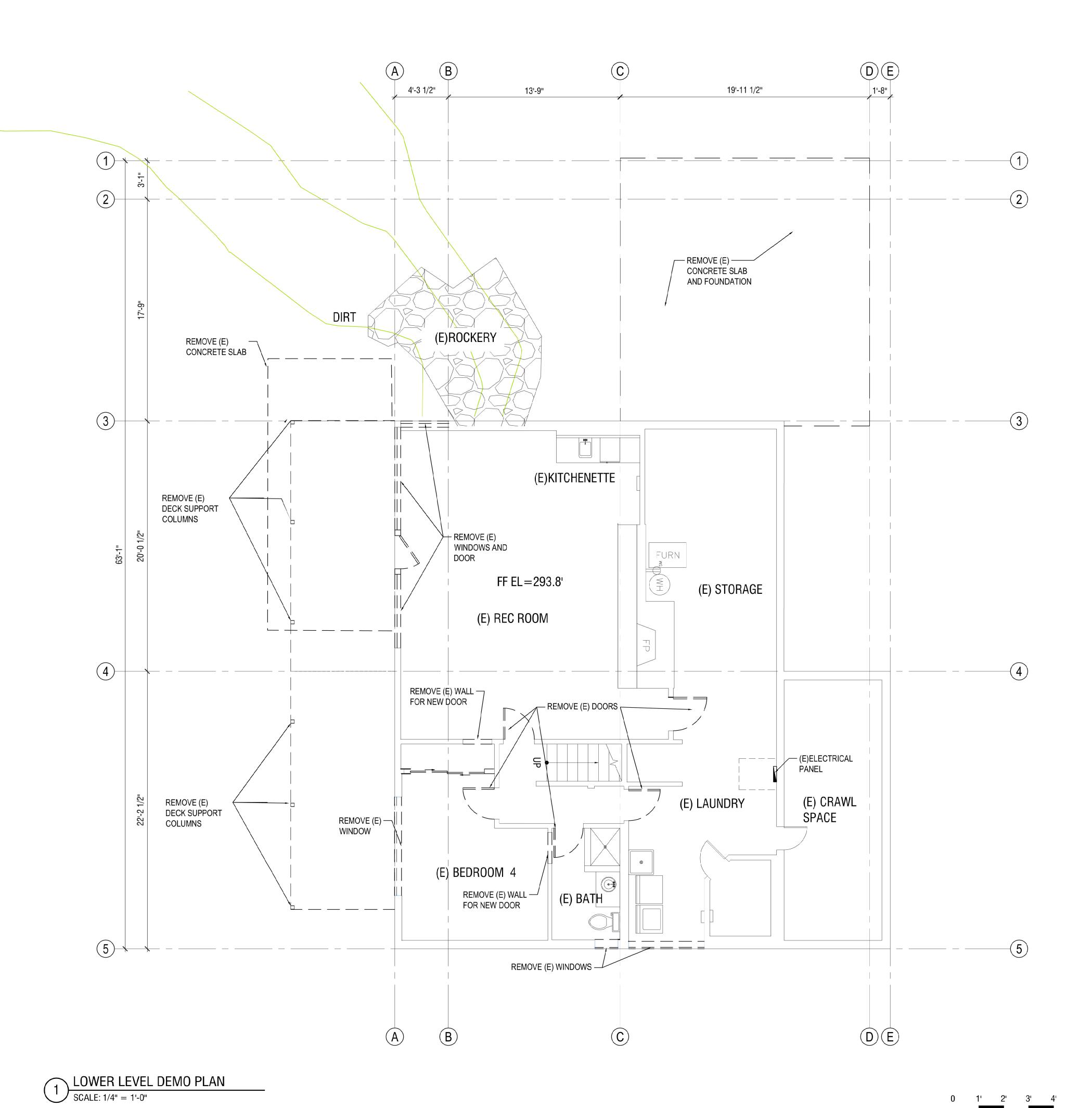
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DESIGNED: LH
DRAWN: LH
REVIEWED: LH

SITE PLAN

A 1.1

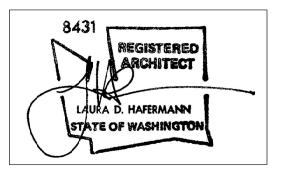




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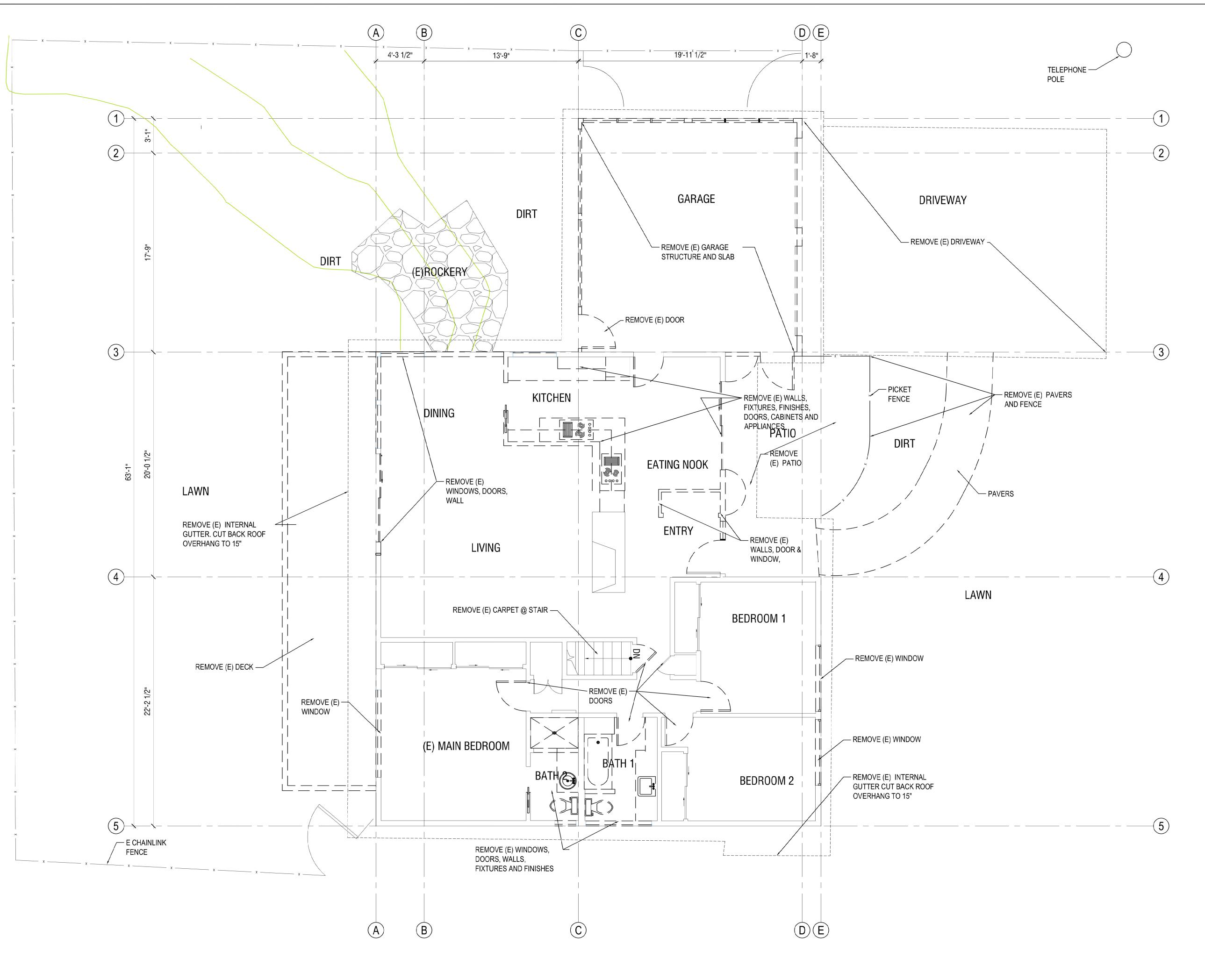
DESIGNED: LH
DRAWN: LH
REVIEWED: LH

NORTH

LOWER LEVEL DEMO PLAN

D1.0

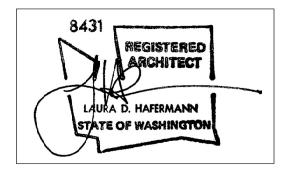
0 1' 2' 3' 4' 6' 10'





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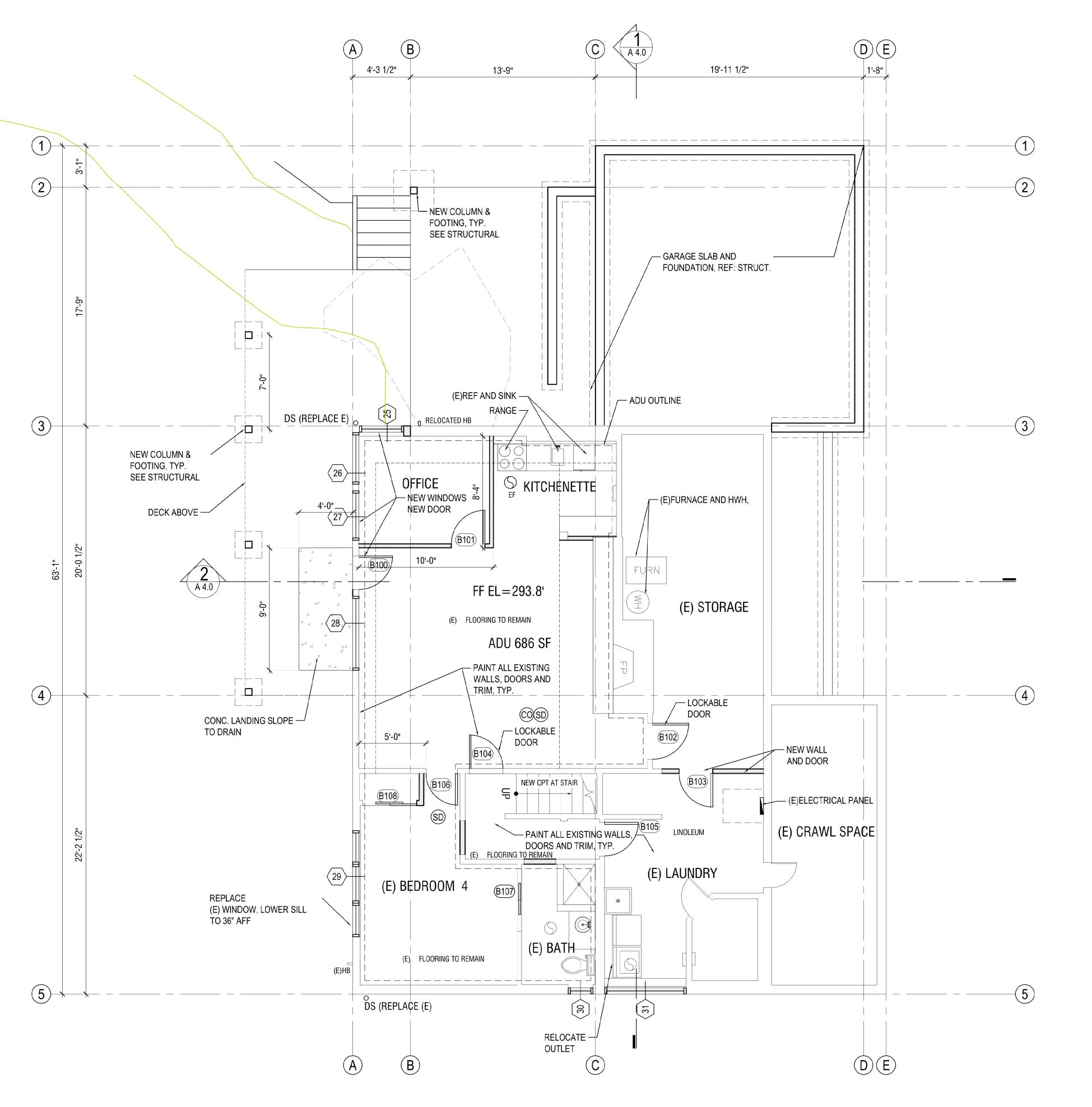
DESIGNED: LH
DRAWN: LH
REVIEWED: LH

NORTH

MAIN LEVEL DEMO PLAN

D1.1







EXHAUST AIR SHALL VENT DIRECTLY TO THE EXTERIOR OF THE BUILDING AND NOT IN ATTICS, SOFFITS, RIDGE VENTS, OR CRAWL SPACES.

AIR EXHAUST OPENINGS SHALL TERMINATE NOT LESS THAN 3 FT FROM PROPERTY LINES; 3 FT FROM OPENINGS INTO BUILDING AND 10 FT FROM MECHANICAL AIR INTAKES, EXCEPT WHERE OPENING IS LOCATED 3FT ABOVE AIR INTAKE.

FIREPLACE

FACTORY-BUILT FIREPLACE SHALL BE LISTED, LABELED, TESTED IN ACCORDANCE WITH UL 127, AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS.

HANDRAIL IRC R311.7.8

- HEIGHT: 34-38 INCHES ABOVE STAIR NOSING.
- CONTINUITY: CONTINUOUS FOR FULL LENGTH OF FLIGHT. HANDRAIL SHALL BE RETURNED OR SHALL TERMINATE IN A NEWEL POST OR SAFETY TERMINAL.
- GRIP-SIZE: BETWEEN 1-1/4 AND 2 INCHES.
- WHERE USED AS A GUARDRAIL, A MAXIMUM OPENING SHALL BE 4 INCHES.

SMOKE ALARMS

IRC SECTION R314. A SMOKE ALARM LISTED AND LABELED IN ACCORDANCE WITH UL217 SHALL BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE EACH SLEEPING ROOM, ON EACH STORY OF THE DWELLING (INCLUDING BASEMENTS BUT EXCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS), AND NOT LESS THAN 3 FT HORIZONTALLY FROM DOOR OF BATHROOM THAT CONTAINS A BATHTUB OR SHOWER. SMOKE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT.

CARBON MONOXIDE ALARMS

AN APPROVED CARBON MONOXIDE ALARM LISTED WITH UL 2034 SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM AND ON EACH FLOOR OF THE DWELLING UNIT.

- (H) <u>HEAT DETECTORS AND HEAT ALARMS</u>
- <u>EXHAUST FAN</u>

ANCHORAGE OF APPLIANCES

APPLIANCES DESIGNED TO BE FIXED IN POSITION SHALL BE FASTENED OR ANCHORED IN APPROVED MANNER. THERMAL STORAGE UNITS SHALL BE ANCHORED OR STRAPPED TO RESIST HORIZONTAL DISPLACEMENT CAUSED BY EARTHQUAKE IN ACCORDANCE TO THE FOLLOWING:

1. ANCHORAGE AND STRAPPING SHALL BE DESIGNED TO RESIST A HORIZONTAL FORCE EQUAL TO 1/3 OF OPERATION WEIGHT OF WATER.

2. ANCHORAGE OF STRAPPING SHALL BE IN ACCORDANCE WITH APPLIANCE MANUFACTURER'S RECOMMENDATIONS.

WATER HEATERS SHALL BE ANCHORED OR STRAPPED TO RESIST HORIZONTAL DISPLACEMENT DUE TO EARTHQUAKE MOTION. STRAPPING SHALL BE AT POINTS WITHIN UPPER 1/3 AND LOWER 1/3 OF ITS VERTICAL DIMENSIONS. AT THE LOWER POINT, A DISTANCE OF NOT LESS THAN 4" SHALL BE MAINTAINED FROM CONTROLS WITH STRAPPING.

NORTH

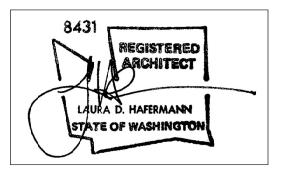


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T: (206) 948 2104

OWNER:

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STRUCTURAL ENGINEER: SWENSON SAY FAGET 2124 3RD AVE SUITE 100 SEATTLE WA 98121 (206)443-6212



ECKELS ANDERSEN ADDITION

3413 72ND PL SE MERCER IS, WA 98040

PERMIT SET

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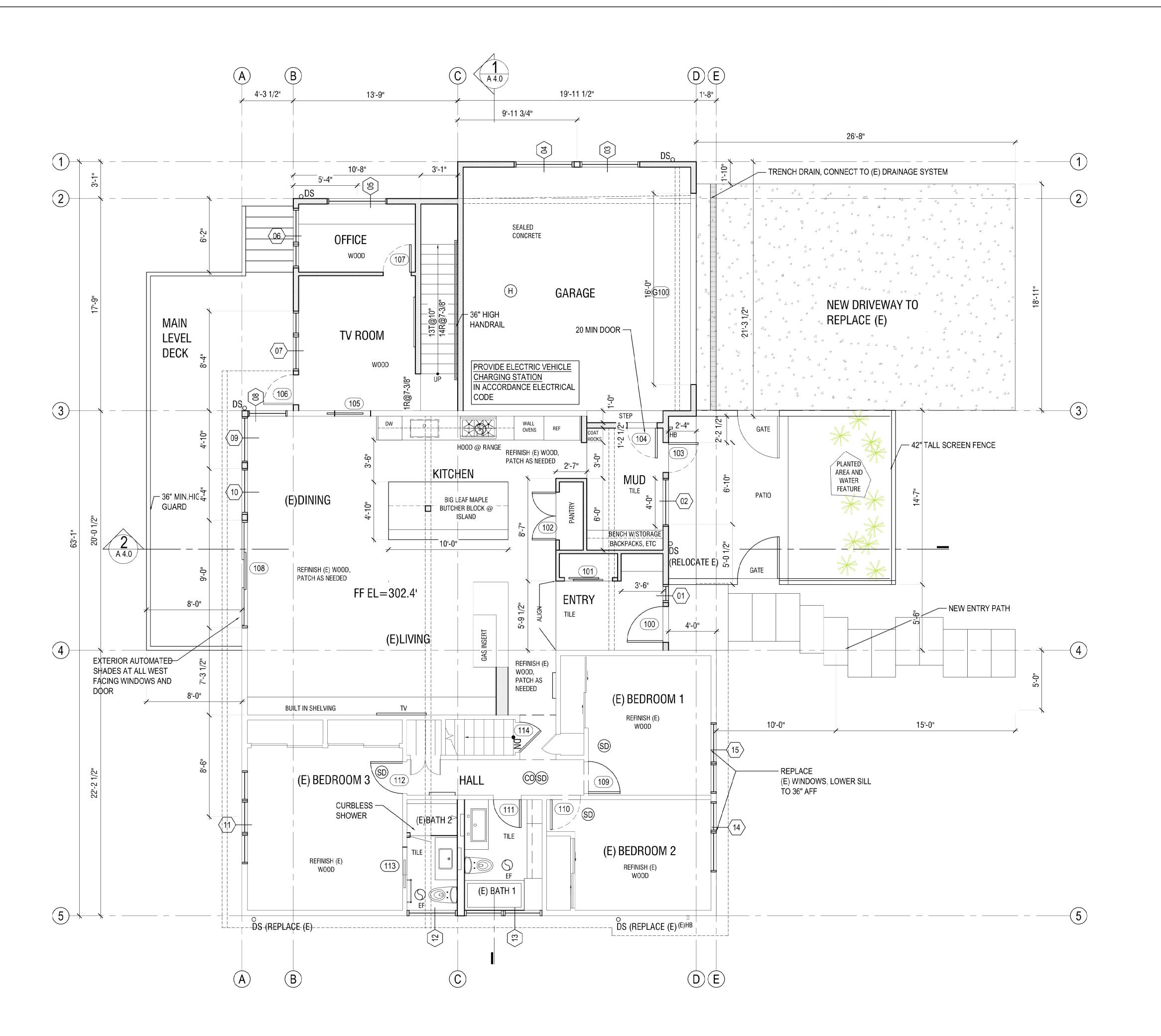
DESIGNED: DRAWN: REVIEWED:

LOWER LEVEL FLOOR PLAN

A2.0

LH

1' 2' 3' 4' 6' 10'

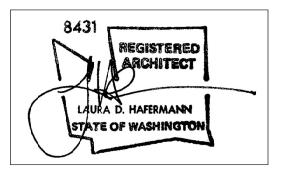




MERCER IS, WA 98040

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STRUCTURAL ENGINEER: **SWENSON SAY FAGET** 2124 3RD AVE SUITE 100 SEATTLE WA 98121 (206)443-6212



ECKELS ANDERSEN **ADDITION**

3413 72ND PL SE MERCER IS, WA 98040

> **PERMIT** SET

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DESIGNED: DRAWN: LH REVIEWED:

NORTH

MAIN LEVEL FLOOR PLAN



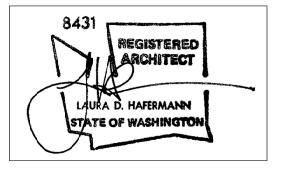






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REVIEWED: LH

NORTH

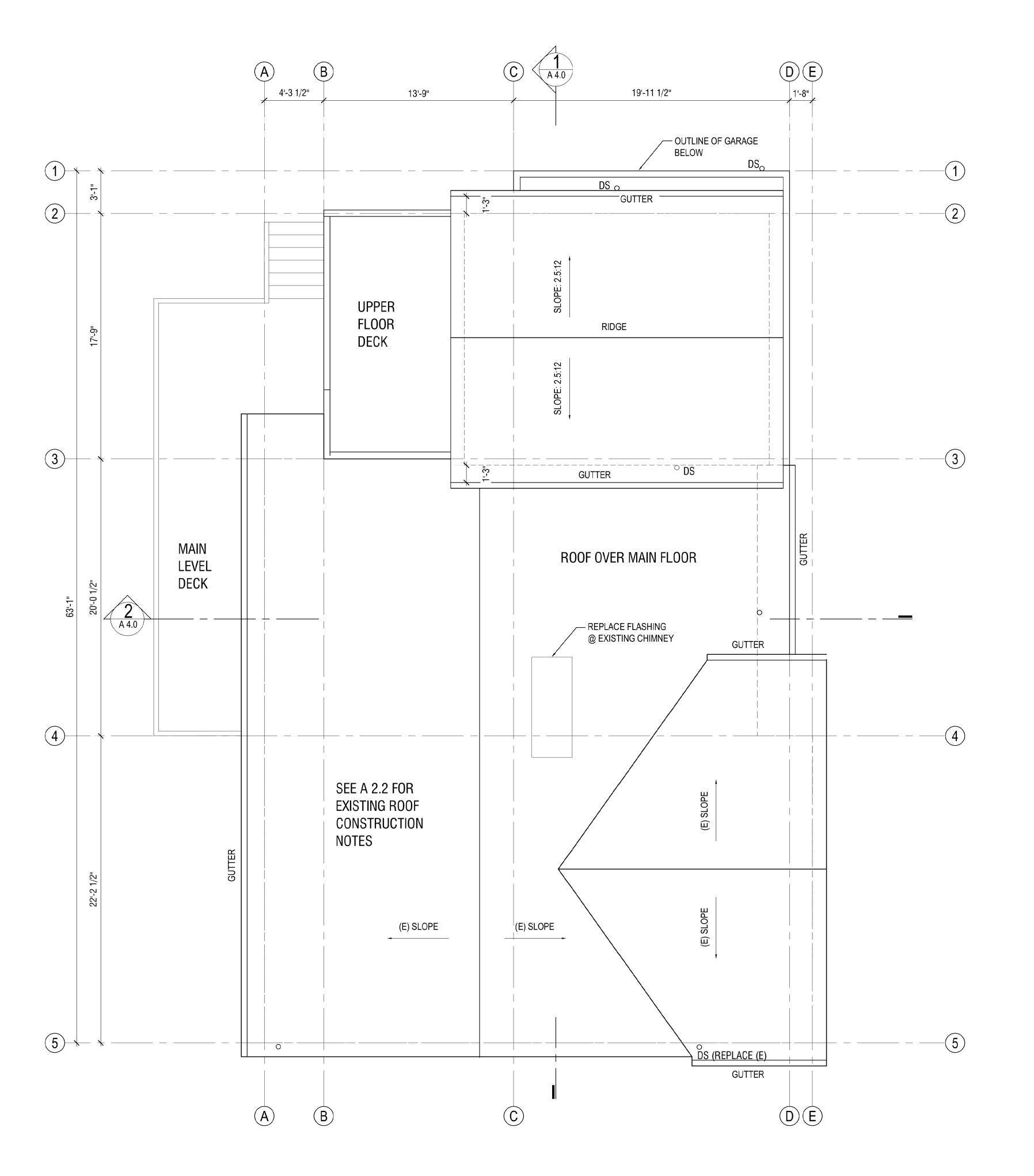
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UPPER LEVEL FLOOR PLAN

A2.2





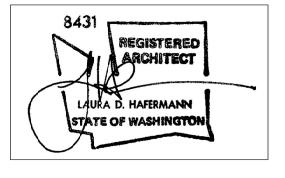




MERCER IS, WA 98040

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DESIGNED: DRAWN: REVIEWED:

ROOF PLAN

LH

LH

A2.3

N LIEU OF VENTILATION PROVIDE SPRAYED OF ICYNENE PROCEAL (ICC ESR-350

IN LIEU OF VENTILATION PROVIDE SPRAYED OF ICYNENE PROCEAL (ICC ESR-3500),
AIR IMPERMEABLE INSULATION ACHIEVING R19 INSULATION IMMEDIATELY BELOW
ROOF SHEATHING. FILL REMAINING PORTION OF CAVITY W/ R19 FIBERGLASS
INSULATION TO ACHIEVE R38 IN CAVITY.
A COPY OF THE ICC-ES REPORT FOR THE INSULATION PRODUCT MUST BE

A COPY OF THE ICC-ES REPORT FOR THE INSULATION PRODUCT MUST BE PROVIDED ON SITE FOR THE FILED INSPECTOR.

THE APPLIED SPRAY FOAM MUST BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS BY A CERTIFIED INSTALLED

ATTIC VENTILATION

ENCLOSED ATTICS AND RAFTER SPACES SHALL HAVE CROSS VENTILATION. FOR EACH SEPARATE SPACE, THE TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1 TO 150 OF THE AREA OF THE SPACE VENTILATED, THE TOTAL AREA IS PERMITTED TO BE REDUCED TO 1 TO 300, PROVIDED AT LEAST 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NO MORE THAN 3 FT BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY, WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS. WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION MORE THAN 3 FT BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE SHALL BE PERMITTED. VENT OPENINGS SHALL BE PROVIDED WITH CORROSION RESISTANT WIRE MESH WITH 1/8" MINIMUM TO 1/4" MAXIMUM OPENINGS. A MINIMUM OF A 1-INCH AIRSPACE MUST BE MAINTAINED BETWEEN THE INSULATION AND THE ROOF SHEATHING AT THE LOCATIONS OF THE VENTS.

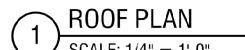
NORTH

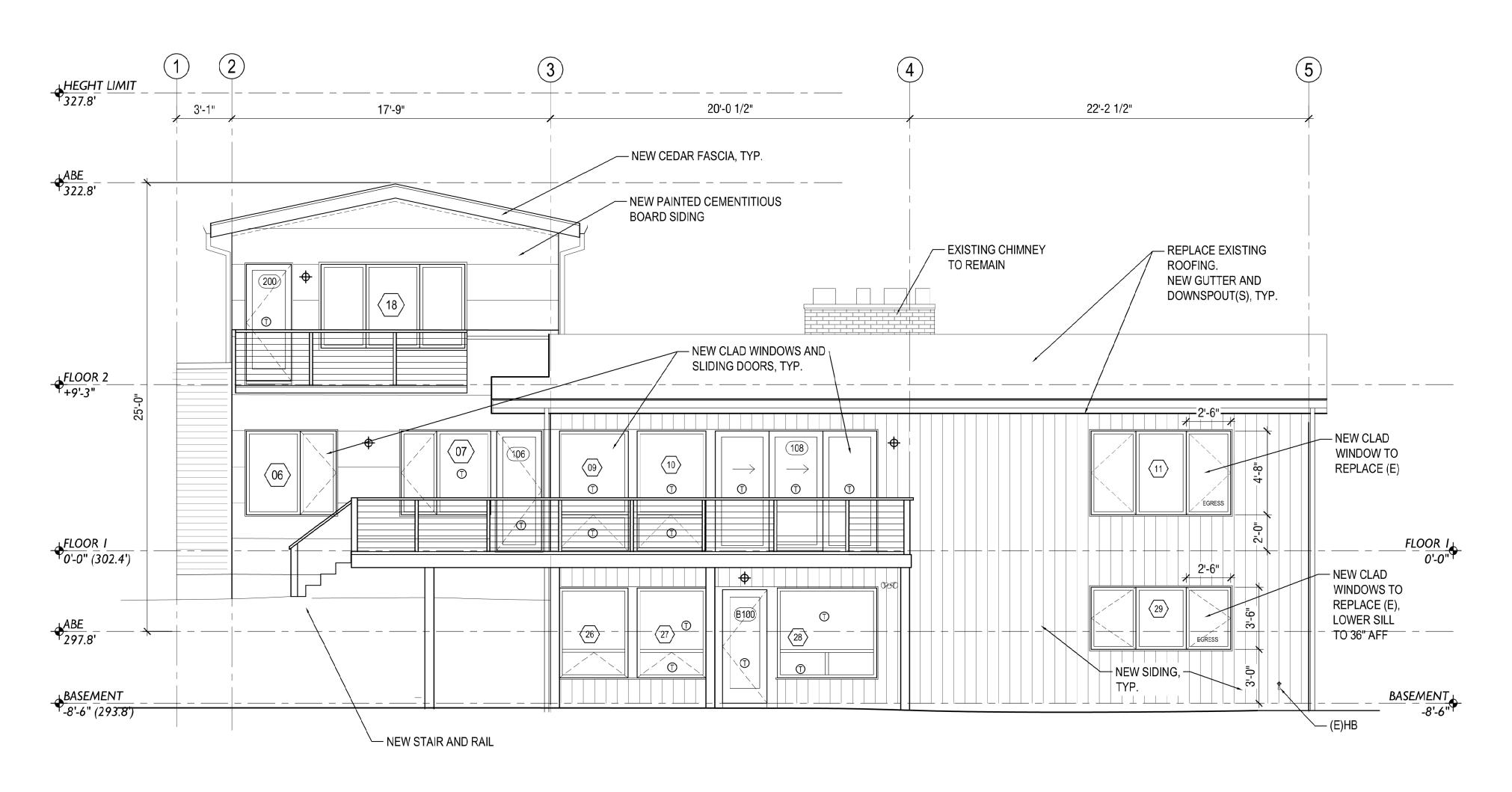
NET FREE VENT AREA 365 SF / 150 = 2.43 SQ.FT

19 FT x 3" =4.75 SQ. FT EAVE AND RIDGE VENT

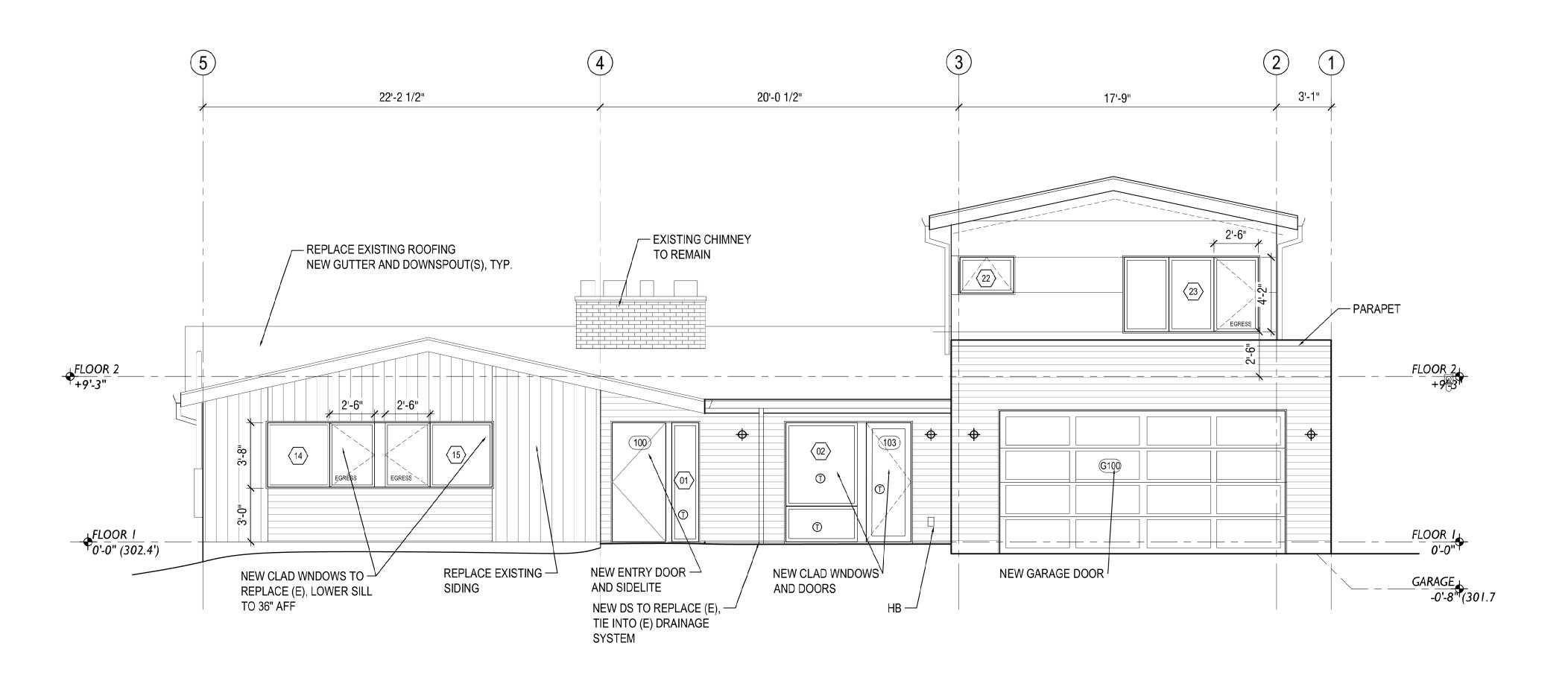


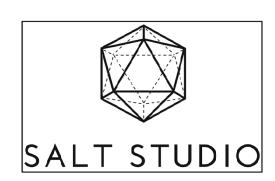






1) ELEVATION WEST
SCALE: 1/8" = 1'-0"

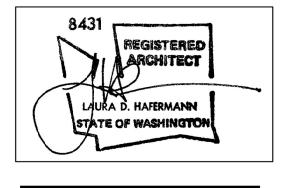




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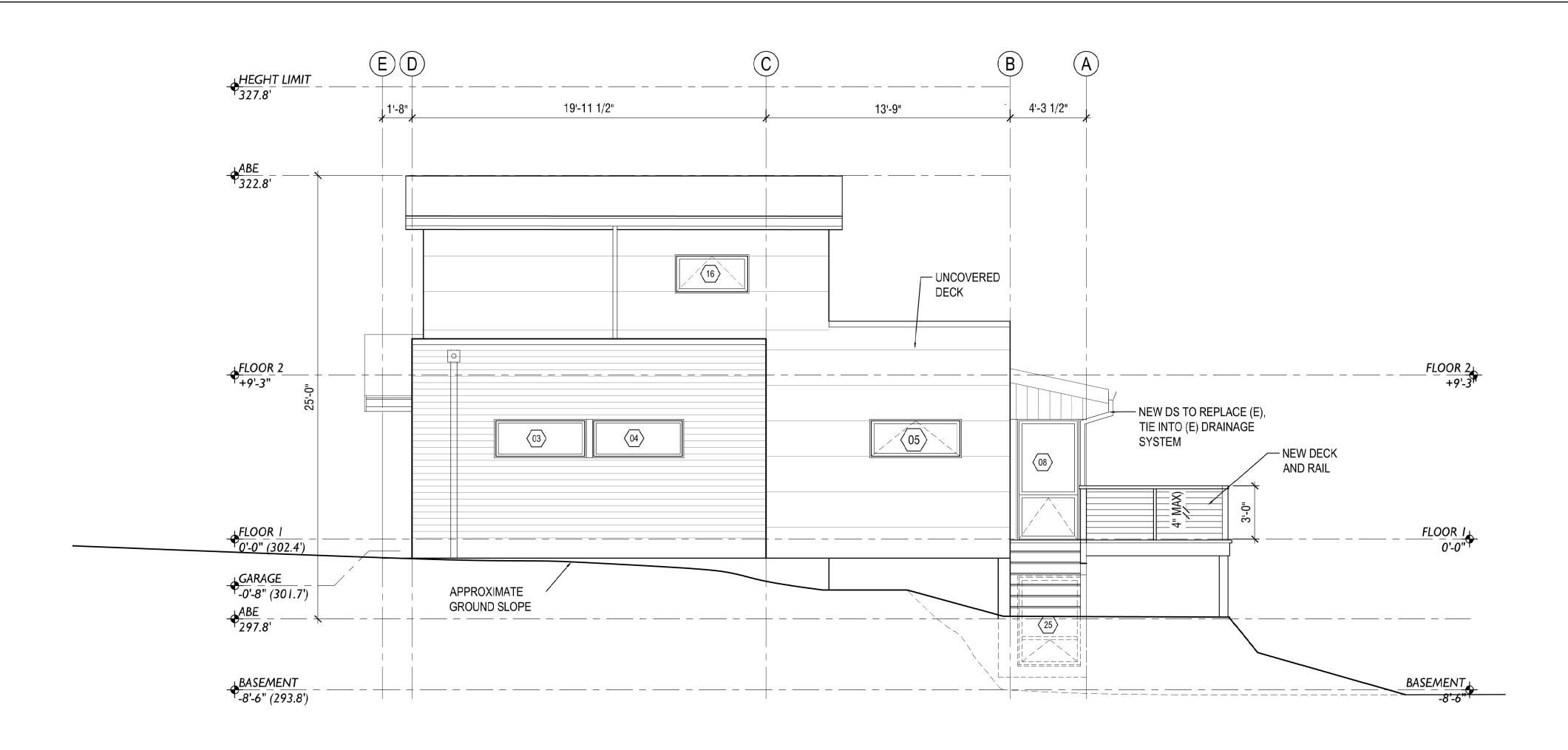
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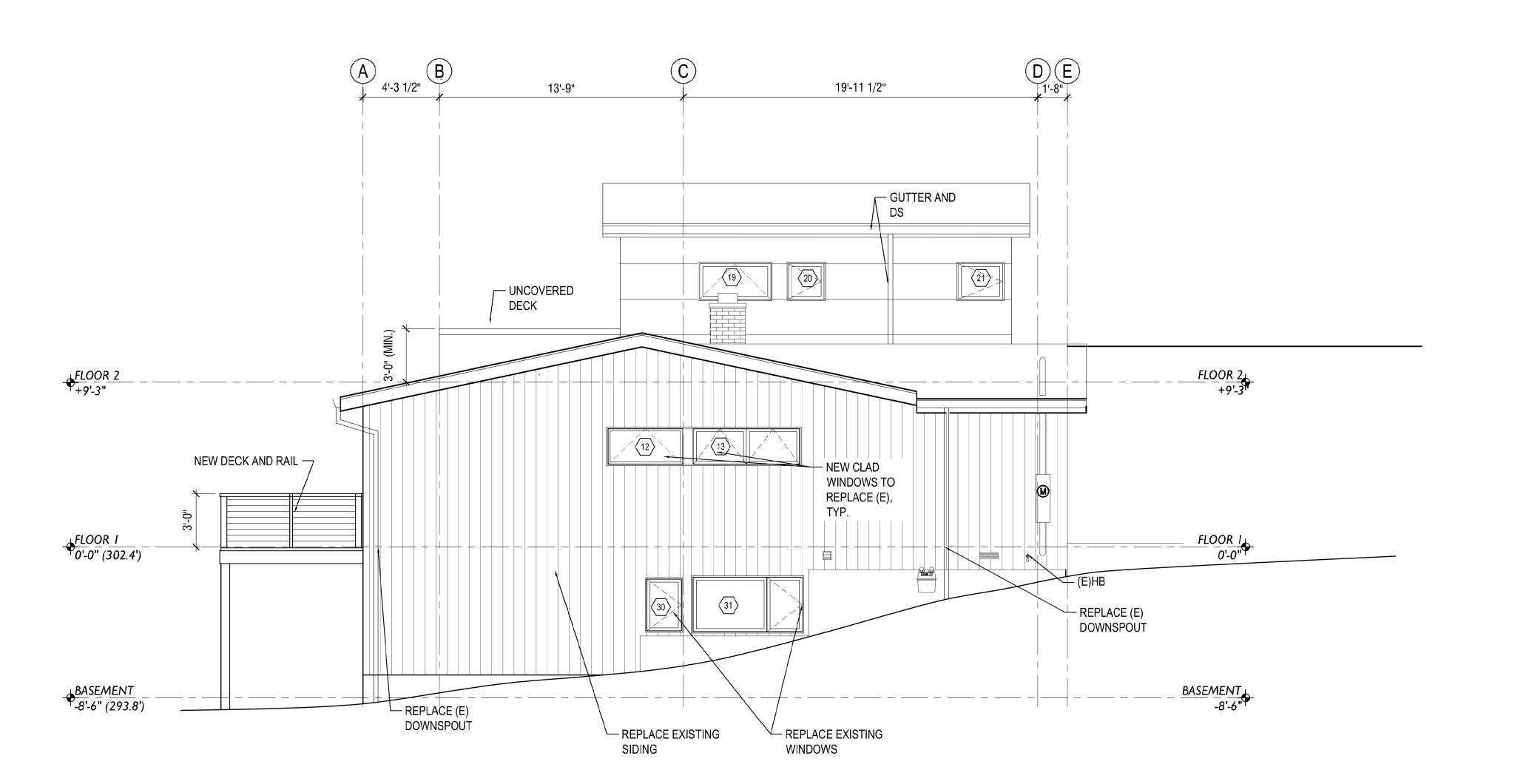
DESIGNED: LH
DRAWN: LH
REVIEWED: LH

ELEVATIONS WEST & EAST

A 3.0



1 ELEVATION NORTH
SCALE: 1/8" = 1'-0"

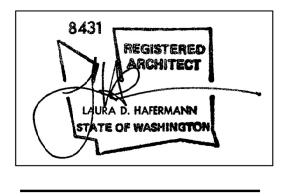




ARCHITECT
SALT STUDIO LLC
66 BELL STREET #1
SEATTLE, WA 98121
T: (206) 948 2104

OWNER: JANE ECKELS/HANS ANDERSEN 3413 72ND PL SE MERCER IS, WA 98040

STRUCTURAL ENGINEER: SWENSON SAY FAGET 2124 3RD AVE SUITE 100 SEATTLE WA 98121 (206)443-6212



ECKELS ANDERSEN ADDITION

3413 72ND PL SE MERCER IS, WA 98040

> PERMIT SET

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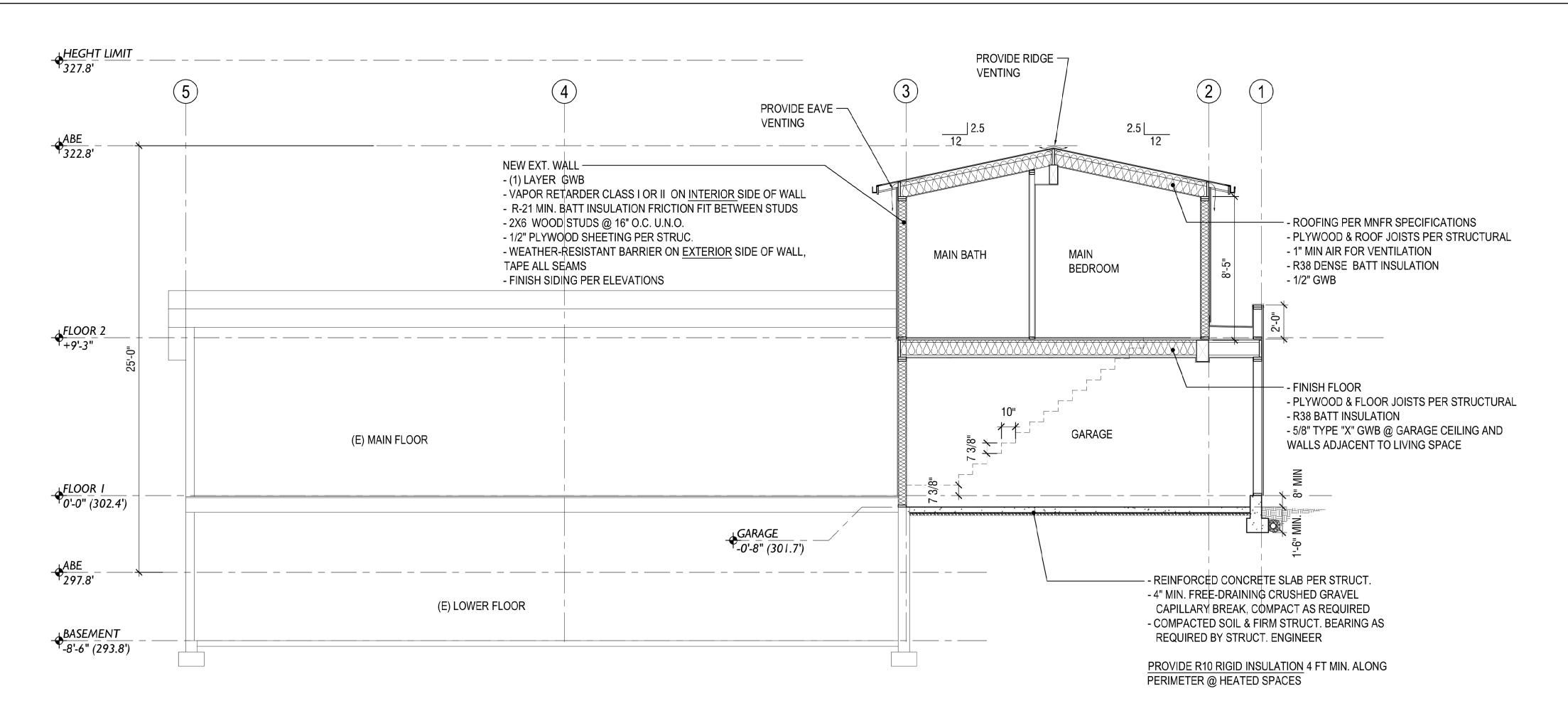
PERMIT 05/28/24

DESIGNED: LH
DRAWN: LH
REVIEWED: LH

ELEVATIONS NORTH & SOUTH

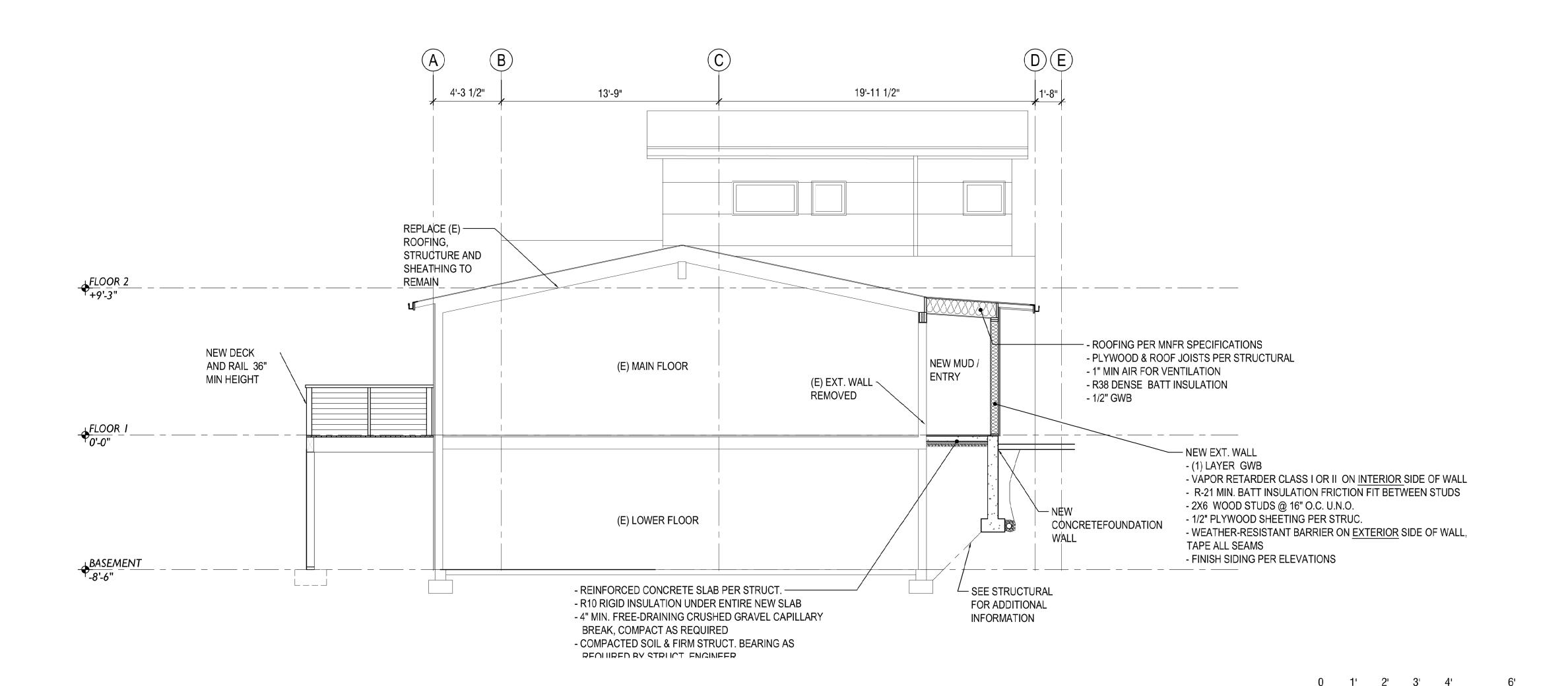
A 3.1

2 ELEVATION SOUTH
SCALE: 1/8" = 1'-0"



SECTION

SCALE: 1/8" = 1'-0"

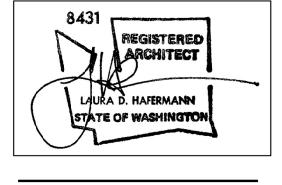




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DESIGNED: LH
DRAWN: LH
REVIEWED: LH

SECTIONS

A 4.0

2 SECTION

SCALE: 1/8" = 1'-0"

SAFETY GLAZING

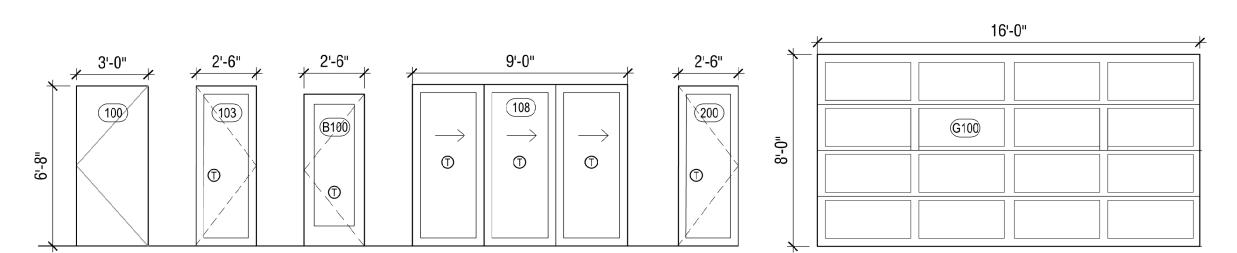
IRC SECTION R308 ALL GLASS LOCATED IN AN AREA CONSIDERED HAZARDOUS MUST BE SAFETY GLAZED:

A. GLAZING IN ALL FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BIFOLD DOORS, EXCEPT DECORATIVE GLAZING AND GLAZED OPENINGS

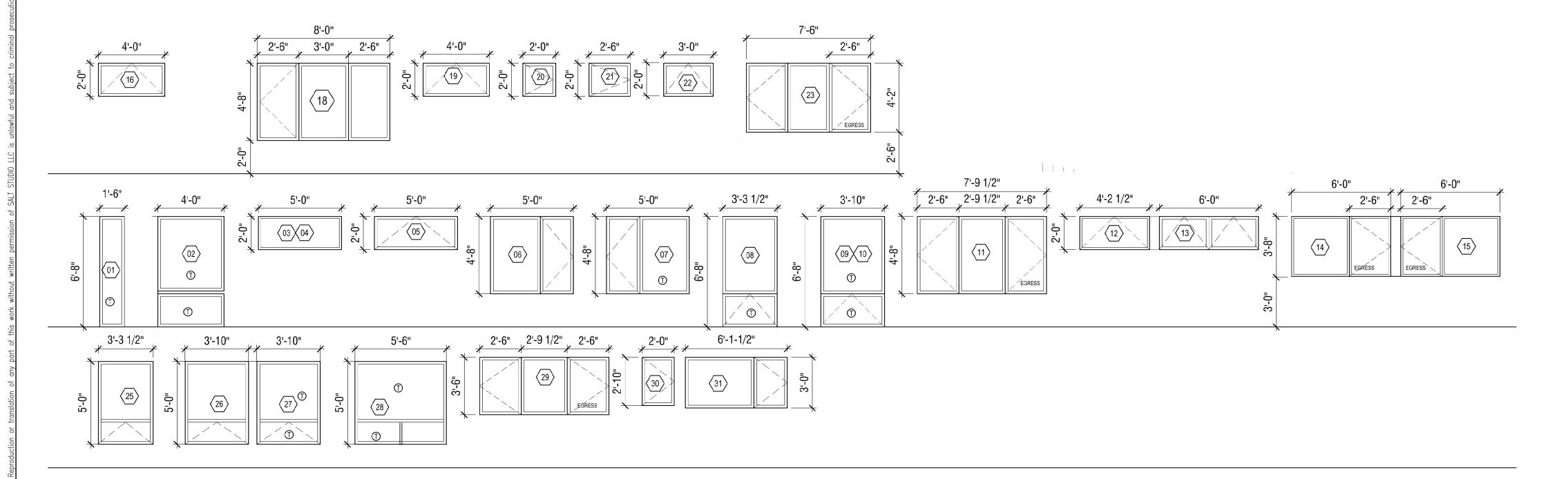
B. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24" ARC OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60" ABOVE THE FLOOR OR WALKING SURFACE. EXCEPTIONS: DECORATIVE GLAZING; AN INTERVENING WALL OR PERMANENT BARRIER IS BETWEEN THE DOOR AND THE GLAZING; GLAZING IS IN A WALL ON THE LATCH SIDE OF THE DOOR AND PERPENDICULAR TO THE PLANE OF THE DOOR IN A CLOSED POSITION; GLAZING ADJACENT TO A DOOR GIVING ACCESS TO A CLOSET WHICH IS LESS THAN 3' IN DEPTH SHALL COMPLY WITH C BELOW; AND GLAZING ADJACENT TO THE FIXED PANEL OF A PATIO DOOR.

C. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEET ALL OF THE FOLLOWING CONDITIONS:

- I. EXPOSED AREA OF AN INDIVIDUAL PANE IS GREATER THAN 9 SQUARE FEET. AND
- II. EXPOSED BOTTOM EDGE IS LESS THAN 18" ABOVE THE FLOOR. AND
- III. EXPOSED TOP EDGE IS GREATER THAN 36" ABOVE THE FLOOR. AND
- IV. 1 OR MORE WALKING SURFACES ARE WITHIN 36" HORIZONTALLY AND IN A STRAIGHT LINE OF THE GLAZING. EXCEPTIONS: DECORATIVE GLAZING; A RAIL AT LEAST 11/2" HIGH AND CAPABLE OF WITHSTANDING A HORIZONTAL FORCE AT LEAST 50 POUNDS PER LINEAR FOOT WITHOUT CONTACTING THE GLASS IS INSTALLED IN FRONT OF THE GLAZING 34" TO 38" ABOVE THE WALKING SURFACE, OR OUTBOARD PANES IN INSULATING GLASS UNITS AND OTHER MULTIPLE GLAZED PANELS WHEN THE BOTTOM EDGE OF THE GLASS IS 25 FEET OR MORE ABOVE GRADE, ROOF, WALKING SURFACES OR OTHER HORIZONTAL SURFACE ADJACENT TO THE GLASS EXTERIOR.
- D. GLAZING IN RAILINGS REGARDLESS OF AREA OR HEIGHT ABOVE A WALKING SURFACE.
- E. TUB, SHOWER, HOT TUB, WHIRLPOOL, SAUNA, & STEAM ROOM ENCLOSURES AND ANY GLAZING IN A BATHROOM WALL ENCLOSURE, WHERE THE BOTTOM IS LESS THAN 60" ABOVE THE WALKING SURFACE. EXCEPTION: GLAZING MORE THAN 60" MEASURED HORIZONTALLY FROM THE WATER'S EDGE OF A HOT TUB, WHIRLPOOL OR BATHTUB.
- F. GLAZING IN WALLS AND FENCES USED AS THE BARRIER OF INDOOR AND OUTDOOR SWIMMING POOLS AND SPAS WHEN THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" ABOVE A WALKING SURFACE AND THE GLAZING IS WITHIN 5' OF THE WATER'S EDGE.
- G. GLAZING WITHIN 36" HORIZONTALLY OF A WALKING SURFACE AND ADJACENT TO STAIRWAYS,, LANDINGS AND RAMPS WHEN THE EXPOSED SURFACE IS LESS THAN 36" ABOVE THE PLANE OF THE WALKING SURFACE. EXCEPTION: A RAIL, GUARD OR WALL IS INSTALLED MEETING CONDITIONS OF R308.4 (7).
- H. GLAZING WITHIN 60" HORIZONTALLY OF THE BOTTOM TREAD OF A STAIRWAY IN ANY DIRECTION WHEN THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 36 INCHES ABOVE
- THE NOSE OF THE TREAD, EXCEPTION: GUARDS COMPLYING WITH R312 AND THE GLASS IS MORE THAN 18" FROM THE GUARD.



EXTERIOR DOOR TYPES SCALE 1/4"= 1'-0"



WINDOW TYPES SCALE 1/4"= 1'-0"

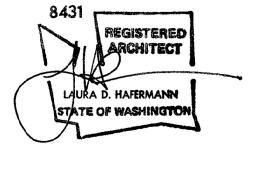
NOTE: ASSUMED WINDOW/GLAZED DOOR U VALUE: 0.28



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STRUCTURAL ENGINEER: SWENSON SAY FAGET (XXX)XXX-XXXX



ECKELS ANDERSEN ADDITION

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PERMIT 05/10/24

DESIGNED: DRAWN: REVIEWED:

SCHEDULES

General Structural Notes

THE FOLLOWING APPLY UNLESS SHOWN OTHERWISE ON THE DRAWINGS

DRAWINGS, SPECIFICATIONS, AND THE INTERNATIONAL BUILDING CODE (2021 EDITION).

CRITERIA

DESIGN LOADING CRITERIA RESIDENTIAL - ONE AND TWO-FAMILY DWELLINGS MISCELLANEOUS LOADS ENVIRONMENTAL LOADS

RISK CATEGORY II SNOW . . Ce=1.0, Is=1.0, Ct=1.1, Cs=1.0, Pg=25 PSF, Pf=25 PSF, Ps=25 PSF EARTHQUAKE:

> ANALYSIS PROCEDURE: EQUIVALENT LATERAL FORCE PROCEDURE LATERAL SYSTEM: LIGHT FRAMED SHEAR WALLS SITE CLASS=D (DEFAULT), Ss=1.411, Sds=1.13, S1=0.491, Sd1=0.89, Cs=0.174, SDC D, Ie=1.0, R=6.5

- 3. STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS FOR BIDDING AND CONSTRUCTION. ARCHITECTURAL DRAWINGS ARE THE PRIME CONTRACT DRAWINGS. ANY DISCREPANCIES FOUND AMONG THE DRAWINGS, THE SPECIFICATION, THESE GENERAL NOTES AND THE SITE CONDITIONS SHALL BE REPORTED TO THE ARCHITECT, WHO SHALL CORRECT SUCH DISCREPANCY IN WRITING. ANY WORK DONE BY THE GENERAL CONTRACTOR AFTER DISCOVERY OF SUCH DISCREPANCY SHALL BE DONE AT THE GENERAL CONTRACTOR'S RISK.
- 4. PRIMARY STRUCTURAL ELEMENTS NOT DIMENSIONED ON THE STRUCTURAL PLANS AND DETAILS SHALL BE LOCATED BY THE ARCHITECTURAL PLANS AND DETAILS. VERTICAL DIMENSION CONTROL IS DEFINED BY THE ARCHITECTURAL WALL SECTIONS, BUILDING SECTION, AND PLANS. DETAILING AND SHOP DRAWING PRODUCTION FOR STRUCTURAL ELEMENTS WILL REQUIRE DIMENSIONAL INFORMATION CONTAINED IN BOTH ARCHITECTURAL AND STRUCTURAL DRAWINGS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND THE METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES REQUIRED TO PERFORM THE CONTRACTORS WORK. THE STRUCTURAL ENGINEER HAS NO OVERALL SUPERVISORY AUTHORITY OR ACTUAL AND/OR DIRECT RESPONSIBILITY FOR THE SPECIFIC WORKING CONDITIONS AT THE SITE AND/OR FOR ANY HAZARDS RESULTING FROM THE ACTIONS OF ANY TRADE CONTRACTOR. THE STRUCTURAL ENGINEER HAS NO DUTY TO INSPECT, SUPERVISE, NOTE, CORRECT, OR REPORT ANY HEALTH OR SAFETY DEFICIENCIES TO THE OWNER, CONTRACTORS, OR OTHER ENTITIES OR PERSONS AT THE PROJECT SITE.
- CONTRACTOR SHALL PROVIDE TEMPORARY BRACING FOR THE STRUCTURE AND STRUCTURAL COMPONENTS UNTIL ALL FINAL CONNECTIONS HAVE BEEN COMPLETED IN ACCORDANCE WITH THE PLANS. CONFORM TO ASCE 37-14 "DESIGN LOADS ON STRUCTURES DURING CONSTRUCTION"
- CONTRACTOR-INITIATED CHANGES SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR APPROVAL PRIOR TO FABRICATION OR REQUIREMENT.
- 8. DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND THE STRUCTURAL ENGINEER. ALL TYPICAL NOTES AND DETAILS SHOWN ON DRAWINGS SHALL APPLY, UNLESS NOTED 16. CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS, MEMBER SIZES, AND OTHERWISE. TYPICAL DETAILS MAY NOT NECESSARILY BE INDICATED ON THE PLANS BUT SHALL STILL APPLY AS SHOWN OR DESCRIBED IN THE DETAILS. WHERE TYPICAL DETAILS ARE NOTED ON THE PLANS, THE SPECIFIED TYPICAL DETAIL SHALL BE USED. WHERE NO TYPICAL DETAIL IS NOTED, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CHOOSE THE APPROPRIATE TYPICAL DETAIL FROM THOSE PROVIDED OR REQUEST ADDITIONAL INFORMATION. THE CONTRACTOR SHALL SUBMIT CALCULATIONS TO THE ENGINEER FOR APPROVAL PRIOR TO SHOP DRAWING PRODUCTION AND FIELD USE.
- 9. ALL STRUCTURAL SYSTEMS. WHICH ARE TO BE COMPOSED OF COMPONENTS TO BE FIELD ERECTED, SHALL BE SUPERVISED BY THE SUPPLIER DURING MANUFACTURING, DELIVERY, HANDLING, STORAGE AND ERECTION IN ACCORDANCE WITH INSTRUCTIONS PREPARED BY THE SUPPLIER.
- 10. SHOP DRAWINGS FOR THE FOLLOWING ITEMS SHALL BE SUBMITTED TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR REVIEW PRIOR TO FABRICATION OF THESE ITEMS.

GLUED LAMINATED MEMBERS MANUFACTURED LUMBER (PSL'S, LSL'S, LVL'S) PLYWOOD WEB JOISTS

11. SHOP DRAWING REVIEW: DIMENSIONS AND QUANTITIES ARE NOT REVIEWED BY THE ENGINEER OF RECORD, THEREFORE MUST BE VERIFIED BY THE CONTRACTOR. CONTRACTOR SHALL REVIEW AND STAMP DRAWINGS PRIOR TO REVIEW BY ENGINEER OF RECORD. CONTRACTOR SHALL REVIEW DRAWINGS FOR CONFORMANCE WITH THE MEANS. SAFETY PRECAUTIONS AND PROGRAMS INCIDENTAL THERETO. SUBMITTALS SHALL INCLUDE A REPRODUCIBLE AND ONE COPY: REPRODUCIBLE WILL BE MARKED AND RETURNED WITHIN TWO WEEKS OF RECEIPT WITH A NOTATION INDICATING THAT THE SUBMITTAL HAS BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE SUBMITTED ITEMS SHALL NOT BE INSTALLED UNTIL THEY HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.

SHOP DRAWING SUBMITTALS PROCESSED BY THE ENGINEER ARE NOT CHANGE ORDERS. THE PURPOSE OF SHOP DRAWING SUBMITTALS BY THE CONTRACTOR IS TO DEMONSTRATE TO THE ENGINEER THAT THE CONTRACTOR UNDERSTANDS THE DESIGN CONCEPT, BY INDICATING WHICH MATERIAL IS INTENDED TO BE FURNISHED AND INSTALLED AND BY DETAILING THE INTENDED FABRICATION AND INSTALLATION METHODS. IF DEVIATIONS, DISCREPANCIES, OR CONFLICTS BETWEEN SHOP DRAWING SUBMITTALS AND THE CONTRACT DOCUMENTS ARE DISCOVERED EITHER PRIOR TO OR AFTER SHOP DRAWING SUBMITTALS ARE PROCESSED BY THE ENGINEER, THE DESIGN DRAWINGS AND SPECIFICATIONS SHALL CONTROL AND SHALL BE FOLLOWED.

ALL MATERIALS, WORKMANSHIP, DESIGN, AND CONSTRUCTION SHALL CONFORM TO THE 12. SHOP DRAWINGS OF DESIGN BUILD COMPONENTS INCLUDING CANOPIES, BALCONIES, COLD-FORMED STEEL FRAMING, TEMPORARY SHORING, CURTAIN WALL SYSTEMS, SKYLIGHT FRAMES, PREFABRICATED STAIR SYSTEMS, EXTERIOR CLADDING, AND PRE-ENGINEERED SYSTEMS SHALL BE STAMPED AND SIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF WASHINGTON. SHOP DRAWINGS SHALL BE APPROVED BY THE COMPONENT DESIGNER PRIOR TO REVIEW BY THE ARCHITECT OR ENGINEER OF RECORD FOR GENERAL CONFORMANCE WITH THE CONSTRUCTION DOCUMENTS. THE COMPONENT DESIGNER IS RESPONSIBLE FOR CODE CONFORMANCE AND ALL NECESSARY CONNECTIONS NOT SPECIFICALLY CALLED OUT ON ARCHITECTURAL OR STRUCTURAL DRAWINGS. SHOP DRAWINGS SHALL INDICATE MAGNITUDE AND DIRECTION OF ALL LOADS IMPOSED ON BASIC STRUCTURE. DESIGN CALCULATIONS SHALL BE SUBMITTED WITH THE SHOP DRAWINGS.

QUALITY ASSURANCE

13. SPECIAL INSPECTION SHALL BE PROVIDED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND SECTIONS 110 AND 1705 OF THE INTERNATIONAL BUILDING CODE BY A QUALIFIED TESTING AGENCY DESIGNATED BY THE ARCHITECT, AND RETAINED BY THE BUILDING OWNER. THE ARCHITECT, STRUCTURAL ENGINEER, AND BUILDING DEPARTMENT SHALL BE FURNISHED WITH COPIES OF ALL INSPECTION AND TEST RESULTS. SPECIAL INSPECTION OF THE FOLLOWING TYPES OF CONSTRUCTION IS REQUIRED UNLESS NOTED OTHERWISE.

EXPANSION BOLTS AND THREADED EXPANSION INSERTS PER MANUFACTURER EPOXY GROUTED INSTALLATIONS PER MANUFACTURER

PERIODIC INSPECTION: INSPECTION SHALL BE PERFORMED AT INTERVALS NECESSARY TO CONFIRM THAT WORK REQUIRING SPECIAL INSPECTION IS IN COMPLIANCE WITH REQUIREMENTS.

CONTINUOUS INSPECTION: INSPECTOR SHALL BE ONSITE AND OBSERVE THE WORK REQUIRING INSPECTION AT ALL TIMES THAT WORK IS PERFORMED.

GEOTECHNICAL

4. FOUNDATION NOTES: ALLOWABLE SOIL PRESSURE AND LATERAL EARTH PRESSURE ARE ASSUMED AND THEREFORE MUST BE VERIFIED BY A QUALIFIED SOILS ENGINEER OR APPROVED BY THE BUILDING OFFICIAL. IF SOILS ARE FOUND TO BE OTHER THAN ASSUMED, NOTIFY THE STRUCTURAL ENGINEER FOR POSSIBLE FOUNDATION REDESIGN.

FOOTINGS SHALL BEAR ON FIRM, UNDISTURBED EARTH AT LEAST 18" BELOW ADJACENT FINISHED GRADE. UNLESS OTHERWISE NOTED, FOOTINGS SHALL BE CENTERED BELOW COLUMNS OR WALLS ABOVE.

BACKFILL BEHIND ALL RETAINING WALLS WITH FREE DRAINING, GRANULAR FILL AND PROVIDE FOR SUBSURFACE DRAINAGE.

RENOVATION

- CONSTRUCTION. CHANGES SHOWN ON SHOP DRAWINGS ONLY WILL NOT SATISFY THIS 15. DEMOLITION: CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS BEFORE COMMENCING ANY DEMOLITION. SHORING SHALL BE INSTALLED TO SUPPORT EXISTING CONSTRUCTION AS REQUIRED IN A MANNER SUITABLE TO THE WORK SEQUENCES. DEMOLITION DEBRIS SHALL NOT BE ALLOWED TO DAMAGE OR OVERLOAD THE EXISTING STRUCTURE. LIMIT CONSTRUCTION LOADING (INCLUDING DEMOLITION DEBRIS) ON EXISTING FLOOR SYSTEMS TO 40 PSF.
 - CONDITIONS PRIOR TO COMMENCING ANY WORK. ALL DIMENSIONS OF EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS ARE INTENDED AS GUIDELINES ONLY AND ENGINEER IF EXISTING CONDITIONS DETERMINED DURING WORK VARY FROM THE EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS.
- ALL PROPOSED ALTERNATE TYPICAL DETAILS TO THOSE PROVIDED WITH RELATED 17. EXISTING REINFORCING SHALL BE SAVED WHERE AND AS NOTED ON THE PLANS. SAW CUTTING, IF AND WHERE USED, SHALL NOT CUT EXISTING REINFORCING THAT IS TO BE SAVED.
 - A. ALL NEW OPENINGS THROUGH EXISTING WALLS, SLABS AND BEAMS SHALL BE
 - B. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND LOCATION OF MEMBERS PRIOR TO CUTTING ANY OPENINGS.
 - C. SMALL ROUND OPENINGS SHALL BE ACCOMPLISHED BY CORE DRILLING. D. WHERE NEW REINFORCING TERMINATES AT EXISTING CONCRETE, DRILL AND EPOXY DOWELS MATCHING THE NEW REINFORCING INTO THE EXISTING CONCRETE WITH 6" EMBED. UNLESS OTHERWISE NOTED ON PLANS.
 - 18. CONTRACTOR SHALL CHECK FOR DRY ROT AT ALL AREAS OF NEW WORK. ALL ROT SHALL BE REMOVED AND DAMAGED MEMBERS SHALL BE REPLACED OR REPAIRED AS DIRECTED BY THE STRUCTURAL ENGINEER OR ARCHITECT.

CONCRETE

- METHODS, TECHNIQUES, SEQUENCES AND OPERATIONS OF CONSTRUCTION, AND ALL 19. CONCRETE SHALL BE MIXED, PROPORTIONED, CONVEYED AND PLACED IN ACCORDANCE WITH ACI 301, INCLUDING TESTING PROCEDURES. CONCRETE SHALL ATTAIN A 28-DAY STRENGTH OF f'c = 3,000 PSI AND MIX SHALL CONTAIN NOT LESS THAN 5-1/2 SACKS OF CEMENT PER CUBIC YARD AND SHALL BE PROPORTIONED TO PRODUCE A SLUMP OF 5" OR LESS. REQUIRED CONCRETE STRENGTH IS BASED ON THE DURABILITY REQUIREMENTS OF SECTION 1904 OF THE IBC. DESIGN STRENGTH IS f'c = 2,500
 - GRADE 60. FY = 60,000 PSI. EXCEPTIONS: ANY BARS SPECIFICALLY SO NOTED ON THE DRAWINGS SHALL BE GRADE 40, FY = 40,000 PSI. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185. SPIRAL REINFORCEMENT SHALL BE DEFORMED WIRE CONFORMING TO ASTM A615, GRADE 60, FY = 60,000 PSI.

21. DETAILING OF REINFORCING STEEL (INCLUDING HOOKS AND BENDS) SHALL BE IN ACCORDANCE WITH ACI 315R-18 AND 318-19. LAP ALL CONTINUOUS REINFORCEMENT #5 AND SMALLER 40 BAR DIAMETERS OR 2'-0" MINIMUM. PROVIDE CORNER BARS AT ALL WALL AND FOOTING INTERSECTIONS. LAP CORNER BARS #5 AND SMALLER 40 BAR DIAMETERS OR 2'-0" MINIMUM. LAPS OF LARGER BARS SHALL BE MADE IN ACCORDANCE WITH ACI 318-19, CLASS B. LAP ADJACENT MATS OF WELDED WIRE FABRIC A MINIMUM OF 8" AT SIDES AND ENDS.

NO BARS PARTIALLY EMBEDDED IN HARDENED CONCRETE SHALL BE FIELD BENT UNLESS SPECIFICALLY SO DETAILED OR APPROVED BY THE STRUCTURAL ENGINEER.

22. CONCRETE PROTECTION (COVER) FOR REINFORCING STEEL SHALL BE AS FOLLOWS:

FOOTINGS AND OTHER UNFORMED SURFACES CAST AGAINST AND PERMANENTLY EXPOSED FORMED SURFACES EXPOSED TO EARTH OR WEATHER (#6 BARS OR LARGER) FORMED SURFACES EXPOSED TO EARTH OR WEATHER (#5 BARS OR SMALLER). . 1-1/2 SLABS AND WALLS (INT. FACE). . . GREATER OF BAR DIAMETER PLUS 1/8" OR 3/4"

23. CONCRETE WALL REINFORCING--PROVIDE THE FOLLOWING UNLESS DETAILED OTHERWISE:

6" WALLS #4 @ 16 HORIZ. #4 @ 18 VERTICAL 1 CURTAIN 8" WALLS #4 @ 12 HORIZ. #4 @ 18 VERTICAL 1 CURTAIN 10" WALLS #4 @ 18 HORIZ. #4 @ 18 VERTICAL 2 CURTAINS 12" WALLS #4 @ 16 HORIZ. #4 @ 18 VERTICAL 2 CURTAINS

24. CAST-IN-PLACE CONCRETE: SEE ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS AND DIMENSIONS OF DOOR AND WINDOW OPENINGS IN ALL CONCRETE WALLS. SEE MECHANICAL DRAWINGS FOR SIZE AND LOCATION OF MISCELLANEOUS MECHANICAL OPENINGS THROUGH CONCRETE WALLS. SEE ARCHITECTURAL DRAWINGS FOR ALL GROOVES, NOTCHES, CHAMFERS, FEATURE STRIPS, COLOR, TEXTURE, AND OTHER FINISH DETAILS AT ALL EXPOSED CONCRETE SURFACES, BOTH CAST-IN-PLACE AND

ANCHORAGE

- 25. EXPANSION BOLTS INTO CONCRETE SHALL BE "STRONG-BOLT 2" WEDGE ANCHORS AS MANUFACTURED BY THE SIMPSON STRONG TIE COMPANY AND INSTALLED IN STRICT CONFORMANCE TO ICC-ES REPORT NUMBER ESR-3037 FOR CONCRETE AND IAPMO ER-240 FO MASONRY, INCLUDING MINIMUM EMBEDMENT REQUIREMENTS. BOLTS INTO CONCRETE MASONRY OR BRICK MASONRY UNITS SHALL BE INTO FULLY GROUTED CELLS. PERIODIC SPECIAL INSPECTION IS REQUIRED TO VERIFY ANCHOR TYPE, ANCHOR DIMENSIONS, ANCHOR LOCATION, TIGHTENING TORQUE, HOLE DIMENSIONS, ANCHOR EMBEDMENT, AND ADHERENCE TO THE INSTALLATION INSTRUCTIONS.
- 26. EPOXY-GROUTED ITEMS (THREADED RODS OR REINFORCING BAR) INTO CONCRET SPECIFIED ON THE DRAWINGS SHALL BE INSTALLED USING "SET-3G" HIGH STRENGTH EPOXY AS MANUFACTURED BY THE SIMPSON STRONG, TIE COMPANY. INSTALL IN STRICT ACCORDANCE WITH ICC-ES REPORT NO. ESR-4057. MINIMUM BASE MATERIAL TEMPERATURE IS 40 DEGREES, F. RODS SHALL BE ASTM A-36 UNLESS OTHERWISE NOTED. PERIODIC SPECIAL INSPECTION OF INSTALLATION IS REQUIRED TO VERIFY ANCHOR OR EMBEDDED BAR TYPE AND DIMENSIONS, LOCATION, ADHESIVE IDENTIFICATION AND EXPIRATION, HOLE DIMENSIONS, HOLE CLEANING PROCEDURE, ANCHOR EMBEDMENT, AND ADHERENCE TO THE INSTALLATION INSTRUCTIONS. CONTINUOUS SPECIAL INSPECTION IS REQUIRED FOR HORIZONTAL AND OVERHEAD INSTALLATIONS.
- MUST BE VERIFIED. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND STRUCTURAL 27. CONCRETE SCREW ANCHORS INTO CONCRETE AND CONCRETE MASONRY UNITS SHALL BE "TITEN HD" SCREW ANCHOR AS MANUFACTURED BY THE SIMPSON STRONG-TIE COMPANY. INSTALLED IN STRICT ACCORDANCE WITH ICC-ES REPORT NO. ESR-2713 (CONCRETE), NO. ESR-1056 (CMU), INCLUDING MINIMUM EMBEDMENT REQUIREMENTS. SCREW ANCHORS INTO CÒNCRÉTE MASONRY UNITS SHALL BE INTO FULLY GROUTED CELLS. SPECIAL INSPECTION IS REQUIRED.

WOOD

ACCOMPLISHED BY SAW CUTTING WHEREVER POSSIBLE. CORNERS SHALL NOT BE 28. FRAMING LUMBER SHALL BE S-DRY, KD, OR MC-19, AND GRADED AND MARKED IN CONFORMANCE WITH WCLIB STANDARD No. 17, GRADING RULES FOR WEST COAST LUMBER, 2018, OR WWPA STANDARD, WESTERN LUMBER GRADING RULES 2021. FURNISH TO THE FOLLOWING MINIMUM STANDARDS:

JOISTS AND BEAMS	(2X & 3X MEMBERS)	HEM-FIR NO. 2 MINIMUM BASE VALUE, Fb = 850 PSI
	(4X MEMBERS)	DOUGLAS FIR-LARCH NO. 1 MINIMUM BASE VALUE, Fb = 1000 PSI
BEAMS	(INCL. 6X AND LARGER)	DOUGLAS FIR-LARCH NO. 1 MINIMUM BASE VALUE, Fb = 1350 PSI
POSTS	(4X MEMBERS)	DOUGLAS FIR-LARCH NO. 2 MINIMUM BASE VALUE, Fc = 1350 PSI
	(6X AND LARGER)	DOUGLAS FIR-LARCH NO. 1 MINIMUM BASE VALUE, Fc = 1000 PSI
STUDS, PLAT	ES & MISC. FRAMING:	DOUGLAS FIR-LARCH NO. 2 OR HEM-FIR NO. 2

20. REINFORCING STEEL SHALL CONFORM TO ASTM A615 (INCLUDING SUPPLEMENT S1), 29. GLUED LAMINATED MEMBERS SHALL BE FABRICATED IN CONFORMANCE WITH ASTM AND ANSI/AITC STANDARDS. EACH MEMBER SHALL BEAR AN AITC OR APA IDENTIFICATION MARK AND SHALL BE ACCOMPANIED BY AN AITC OR APA CERTIFICATE OF CONFORMANCE. ALL SIMPLE SPAN BEAMS SHALL BE DOUGLAS FIR COMBINATION 24F-V4, Fb = 2,400 PSI, Fv = 265 PSI. ALL CANTILEVERED BEAMS SHALL BE DOUGLAS FIR COMBINATION 24F-V8, Fb = 2400 PSI, Fv = 265 PSI.

30. MANUFACTURED LUMBER, PSL, LVL, AND LSL SHOWN ON PLAN ARE BASED PRODUCTS 36. WOOD FASTENERS MANUFACTURED BY THE WEYERHAEUSER CORPORATION IN ACCORDANCE WITH ICC-ES REPORT ESR-1387. MEMBERS SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES.

PSL (2.0E WS) Fb = 2900 PSI, E = 2000 KSI, Fv = 290 PSILVL (2.0E-2600FB WS) Fb = 2600 PSI, E = 2000 KSI, Fv = 285 PSI LSL (1.55E) Fb = 2325 PSI, E = 1550 KSI, Fv = 310 PSI

ALTERNATE MANUFACTURED LUMBER MANUFACTURERS MAY BE USED SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND STRUCTURAL ENGINEER. ALTERNATE MANUFACTURER'S PRODUCTS SHALL BE COMPATIBLE WITH THE JOIST HANGERS AND OTHER HARDWARE SPECIFIED ON PLANS, OR ALTERNATE HANGERS AND HARDWARE SHALL SUBMITTED FOR REVIEW AND APPROVAL. SUBSTITUTED ITEMS SHALL HAVE ICC-ES REPORT APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES.

MANUFACTURED LUMBER PRODUCTS SHALL BE INSTALLED WITH A MOISTURE CONTENT OF 12% OR LESS. THE CONTRACTOR SHALL MAKE PROVISIONS DURING CONSTRUCTION TO PREVENT THE MOISTURE CONTENT OF INSTALLED BEAMS FROM EXCEEDING 12%. EXCESSIVE DEFLECTIONS MAY OCCUR IF MOISTURE CONTENT EXCEEDS THIS VALUE.

31. PLYWOOD SHEATHING SHALL BE GRADE C-D, EXTERIOR GLUE OR STRUCTURAL II EXTERIOR GLUE IN CONFORMANCE WITH DOC PS 1 OR PS 2. ORIENTED STRAND BOARD OF EQUIVALENT THICKNESS, EXPOSURE RATING AND PANEL INDEX MAY BE USED IN LIEU OF PLYWOOD.

ROOF SHEATHING SHALL BE 1/2" (NOMINAL) WITH SPAN RATING 32/16.

FLOOR SHEATHING SHALL BE 3/4" (NOMINAL) WITH SPAN RATING 48/24.

WALL SHEATHING SHALL BE 1/2" (NOMINAL) WITH SPAN RATING 24/0.

PROVIDE APPROVED PLYWOOD EDGE CLIPS CENTERED BETWEEN JOISTS/TRUSSES AT UNBLOCKED ROOF SHEATHING EDGES. ALL FLOOR SHEATHING EDGES SHALL HAVE APPROVED T&G JOINTS OR SHALL BE SUPPORTED WITH SOLID BLOCKING. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND ENDS OF FLOOR AND ROOF SHEATHING.

REFER TO WOOD FRAMING NOTES BELOW FOR TYPICAL NAILING REQUIREMENTS.

32. ALL WOOD IN DIRECT CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE-TREATED WITH AN APPROVED PRESERVATIVE OR (2) LAYERS OF ASPHALT IMPREGNATED BUILDING PAPER SHALL BE PROVIDED BETWEEN UNTREATED WOOD AND CONCRETE OR MASONRY.

33. PRESERVATIVE TREATED WOOD SHALL BE TREATED PER AWPA STANDARD U1-20 TO THE USE CATEGORY EQUAL TO OR HIGHER THAN THE INTENDED APPLICATION. TREATED WOOD FOR ABOVE GROUND USE SHALL BE TREATED TO AWPA UC3B. WOOD IN CONTINUOUS CONTACT WITH FRESH WATER OR SOIL SHALL BE TREATED TO AWPA UC4A. WOOD FOR USE IN PERMANENT FOUNDATIONS SHALL BE TREATED TO AWPA UC4B.

34. FASTENERS AND TIMBER CONNECTORS USED WITH TREATED WOOD SHALL HAVE

WOOD TREATMENT	CONDITION	PROTECTION
HAS NO AMMONIA CARRIER	INTERIOR DRY	G90 GALVANIZED
CONTAINS AMMONIA CARRIER	INTERIOR DRY	G185 OR A185 HOT DIPPED OF
		CONTINUOUS HOT-GALVANIZED
		PER ASTM A653
CONTAINS AMMONIA CARRIER	INTERIOR WET	TYPE 304 OR 316 STAINLESS
CONTAINS AMMONIA CARRIER	EXTERIOR	TYPE 304 OR 316 STAINLESS
AZCA	ANY	TYPE 304 OR 316 STAINLESS

INTERIOR DRY CONDITIONS SHALL HAVE WOOD MOISTURE CONTENT LESS THAN 19%. WOOD MOISTURE CONTENT IN OTHER CONDITIONS (INTERIOR WET, EXTERIOR WET, AND EXTERIOR DRY) IS EXPECTED TO EXCEED 19%. CONNECTORS AND THEIR FASTENERS SHALL BE THE SAME MATERIAL. COMPLY WITH THE TREATMENT MANUFACTURERS RECOMMENDATIONS FOR PROTECTION OF METAL.

 $\equiv\equiv$ 35. TIMBER CONNECTORS CALLED OUT BY LETTERS AND NUMBERS SHALL BE "STRONG-TIE" BY SIMPSON COMPANY. AS SPECIFIED IN THEIR CATALOG NUMBER C-C-2021. EQUIVALENT DEVICES BY OTHER MANUFACTURERS MAY BE SUBSTITUTED, PROVIDED THEY HAVE ICC-ES APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. PROVIDE NUMBER AND SIZE OF FASTENERS AS SPECIFIED BY MANUFACTURER FOR MAXIMUM LOAD CARRYING CAPACITY. CONNECTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

ALL 2X JOISTS SHALL BE CONNECTED TO FLUSH BEAMS WITH "LUS" SERIES JOIST HANGERS. ALL TJI JOISTS SHALL BE CONNECTED TO FLUSH BEAMS WITH "ITS" SERIES JOIST HANGERS. ALL DOUBLE-JOIST BEAMS SHALL BE CONNECTED TO FLUSH BEAMS WITH "MIT" SERIES JOIST HANGERS.

WHERE CONNECTOR STRAPS CONNECT TWO MEMBERS, PLACE ONE-HALF OF THE NAILS OR BOLTS IN EACH MEMBER.

ALL SHIMS SHALL BE SEASONED AND DRIED AND THE SAME GRADE (MINIMUM)AS MEMBERS CONNECTED.

A. NAIL SIZES SPECIFIED ON DRAWINGS ARE BASED ON THE FOLLOWING SPECIFICATIONS:

SIZE	LENGTH	DIAMETER
6d	2"	0. 113"
8d	2-1/2"	0. 131"
10d	3"	0. 148"
12d	3-1/4"	0. 148"
16d B0X	3-1/2"	0. 135"

IF CONTRACTOR PROPOSES THE USE OF ALTERNATE NAILS, THEY SHALL SUBMIT NAIL SPECIFICATIONS TO THE STRUCTURAL ENGINEER (PRIOR TO CONSTRUCTION) FOR REVIEW AND APPROVAL

NAILS - PLYWOOD (APA RATED SHEATHING) FASTENERS TO FRAMING SHALL BE DRIVEN FLUSH TO FACE OF SHEATHING WITH NO COUNTERSINKING PERMITTED. TOE-NAILS SHALL BE DRIVEN AT AN ANGLE OF 30 DEGREES WITH THE MEMBER AND STARTED 1/3 THE LENGTH OF THE NAIL FROM THE MEMBER END.

B. ALL BOLTS IN WOOD MEMBERS SHALL CONFORM TO ASTM A307. PROVIDE WASHERS UNDER THE HEADS AND NUTS OF ALL BOLTS AND LAG BOLTS BEARING ON WOOD. INSTALLATION OF LAG BOLTS SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION WITH A LEAD BORE HOLE OF 60 TO 70 PERCENT OF THE SHANK DIAMETER. LEAD HOLES ARE NOT REQUIRED FOR 3/8" AND SMALLER LAG SCREWS.

37. NOTCHES AND HOLES IN WOOD FRAMING:

- A. NOTCHES ON THE ENDS OF SOLID SAWN JOISTS AND RAFTERS SHALL NOT EXCEED ONE-FOURTH THE JOIST DEPTH. NOTCHES IN THE TOP OR BOTTOM OF SOLID SAWN JOISTS SHALL NOT EXCEED ONE-SIXTH THE DEPTH AND SHALL NOT BE LOCATED IN THE MIDDLE THIRD OF THE SPAN. HOLES BORED IN SOLID SAWN JOISTS AND RAFTERS SHALL NOT BE WITHIN 2 INCHES OF THE TOP OR BOTTOM OF THE JOIST AND THE DIAMETER OF ANY SUCH HOLE SHALL NOT EXCEED ONE-THIRD THE DEPTH OF THE JOIST.
- B. IN EXTERIOR WALLS AND BEARING PARTITIONS, ANY WOOD STUD IS PERMITTED TO BE CUT OR NOTCHED TO A DEPTH NOT EXCEEDING 25 PERCENT OF ITS WIDTH. A HOLE NOT GREATER IN DIAMETER THAN 40 PERCENT OF THE STUD WIDTH IS PERMITTED TO BE BORED IN ANY WOOD STUD. IN NO CASE SHALL THE EDGE OF THE BORED HOLE BE NEARER THAN 5/8 INCH TO THE EDGE OF THE STUD. BORED HOLES SHALL NOT BE LOCATED AT THE SAME SECTION OF STUD AS A CUT OR NOTCH.
- C. NOTCHES AND HOLES IN MANUFACTURED LUMBER AND PREFABRICATED PLYWOOD WEB JOISTS SHALL BE PER THE MANUFACTURERS RECOMMENDATIONS UNLESS OTHERWISE

CORROSION RESISTANCE AS INDICATED IN THE FOLLOWING TABLE, UNLESS OTHERWISE 38. WOOD FRAMING NOTES--THE FOLLOWING APPLY UNLESS OTHERWISE SHOWN ON THE PLANS:

- A. ALL WOOD FRAMING DETAILS NOT SHOWN OTHERWISE SHALL BE CONSTRUCTED TO THE MINIMUM STANDARDS OF THE INTERNATIONAL BUILDING CODE, THE AITC "TIMBER CONSTRUCTION MANUAL" AND THE AWC "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION". MINIMUM NAILING, UNLESS OTHERWISE NOTED, SHALL CONFORM TO IBC TABLE 2304.10.2. COORDINATE THE SIZE AND LOCATION OF ALL OPENINGS WITH MECHANICAL AND ARCHITECTURAL DRAWINGS.
- B. WALL FRAMING: REFER ARCHITECTURAL DRAWINGS FOR THE SIZE OF ALL WALLS. ALL STUDS SHALL BE SPACED AT 16" O.C. UNO. TWO STUDS MINIMUM SHALL BE PROVIDED AT THE END OF ALL WALLS AND AT EACH SIDE OF ALL OPENINGS. AND AT BEAM OR HEADER BEARING LOCATIONS. TWO 2x8 HEADERS SHALL BE PROVIDED OVER ALL OPENINGS NOT OTHERWISE NOTED. SOLID BLOCKING FOR WOOD COLUMNS SHALL BE PROVIDED THROUGH FLOORS TO SUPPORTS BELOW. PROVIDE CONTINUOUS SOLID BLOCKING AT MID-HEIGHT OF ALL STUD WALLS OVER 10'-0" IN HEIGHT.

ALL WALLS SHALL HAVE A SINGLE BOTTOM PLATE AND A DOUBLE TOP PLATE. END NAIL TOP PLATE TO EACH STUD WITH TWO 16d NAILS, AND TOENAIL OR END NAIL EACH STUD TO BOTTOM PLATE WITH TWO 16d NAILS. FACE NAIL DOUBLE TOP PLATE WITH 16d @ 12" O.C.. LAP TOP PLATES AT JOINTS A MINIMUM 4'-0" AND NAIL WITH TWELVE 16d NAILS @ 4" O.C. EACH SIDE JOINT.

ALL STUD WALLS SHALL HAVE THEIR LOWER WOOD PLATES ATTACHED TO WOOD FRAMING BELOW WITH TWO ROWS OF 16d NAILS @ 12" ON-CENTER, OR ATTACHED TO CONCRETE BELOW WITH 5/8" DIAMETER ANCHOR BOLTS @ 4'-0" ON-CENTER EMBEDDED 7" MINIMUM, UNLESS INDICATED OTHERWISE. INDIVIDUAL MEMBERS OF BUILT-UP POSTS SHALL BE NAILED TO EACH OTHER WITH TWO ROWS OF 16d @12" ON-CENTER. UNLESS OTHERWISE NOTED, GYPSUM WALLBOARD SHALL BE FASTENED TO THE INTERIOR SURFACE OF ALL STUDS AND PLATES WITH NO. 6 X 1-1/4" TYPE S OR W SCREWS @ 8" ON-CENTER. UNLESS INDICATED OTHERWISE, 1/2" (NOMINAL)APA RATED SHEATHING (SPAN RATING 24/0) SHALL BE NAILED TO ALL EXTERIOR SURFACES WITH 8d NAILS @ 6" ON-CENTER AT PANEL EDGES AND TOP AND BOTTOM PLATES (BLOCK UN-SUPPORTED EDGES)AND TO ALL INTERMEDIATE STUDS AND BLOCKING WITH 8d NAILS @ 12" ON-CENTER ALLOW 1/8" SPACING AT ALL PANEL EDGES AND PANEL ENDS.

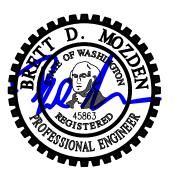
C. FLOOR AND ROOF FRAMING: PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS THAT EXTEND OVER MORE THAN HALF THE JOIST LENGTH AND AROUND ALL OPENINGS IN FLOORS OR ROOFS UNLESS OTHERWISE NOTED. PROVIDE SOLID BLOCKING BETWEEN RAFTERS AND JOISTS AT ALL BEARING POINTS WITH A MINIMUM OF (3) 16d TOE NAILS EACH END. TOE-NAIL JOISTS TO SUPPORTS WITH TWO 16d NAILS. ATTACH TIMBER JOISTS TO FLUSH HEADERS OR BEAMS WITH SIMPSON METAL JOIST HANGERS IN ACCORDANCE WITH NOTES ABOVE. NAIL ALL MULTI JOIST BEAMS TOGETHER WITH TWO ROWS 16d @ 12" ON-CENTER.

UNLESS OTHERWISE NOTED ON THE PLANS, PLYWOOD ROOF AND FLOOR SHEATHING SHALL BE LAID UP WITH GRAIN PERPENDICULAR TO SUPPORTS AND NAILED AT 6" ON-CENTER WITH 8d NAILS TO FRAMED PANEL EDGES, STRUTS AND OVER STUD WALLS AS SHOWN ON PLANS AND @ 12" ON-CENTER TO INTERMEDIATE SUPPORTS. PROVIDE APPROVED PLYWOOD EDGE CLIPS CENTERED BETWEEN JOISTS/TRUSSES AT UNBLOCKED ROOF SHEATHING EDGES. ALL FLOOR SHEATHING EDGES SHALL HAVE APPROVED T&G JOINTS OR SHALL BE SUPPORTED WITH SOLID BLOCKING. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND ENDS OF FLOOR AND ROOF SHEATHING. TOFNAIL BLOCKING TO SUPPORTS WITH 16d @ 12" ON-CENTER. MINIMUM TWO NAILS PER BLOCK, UNLESS OTHERWISE NOTED.

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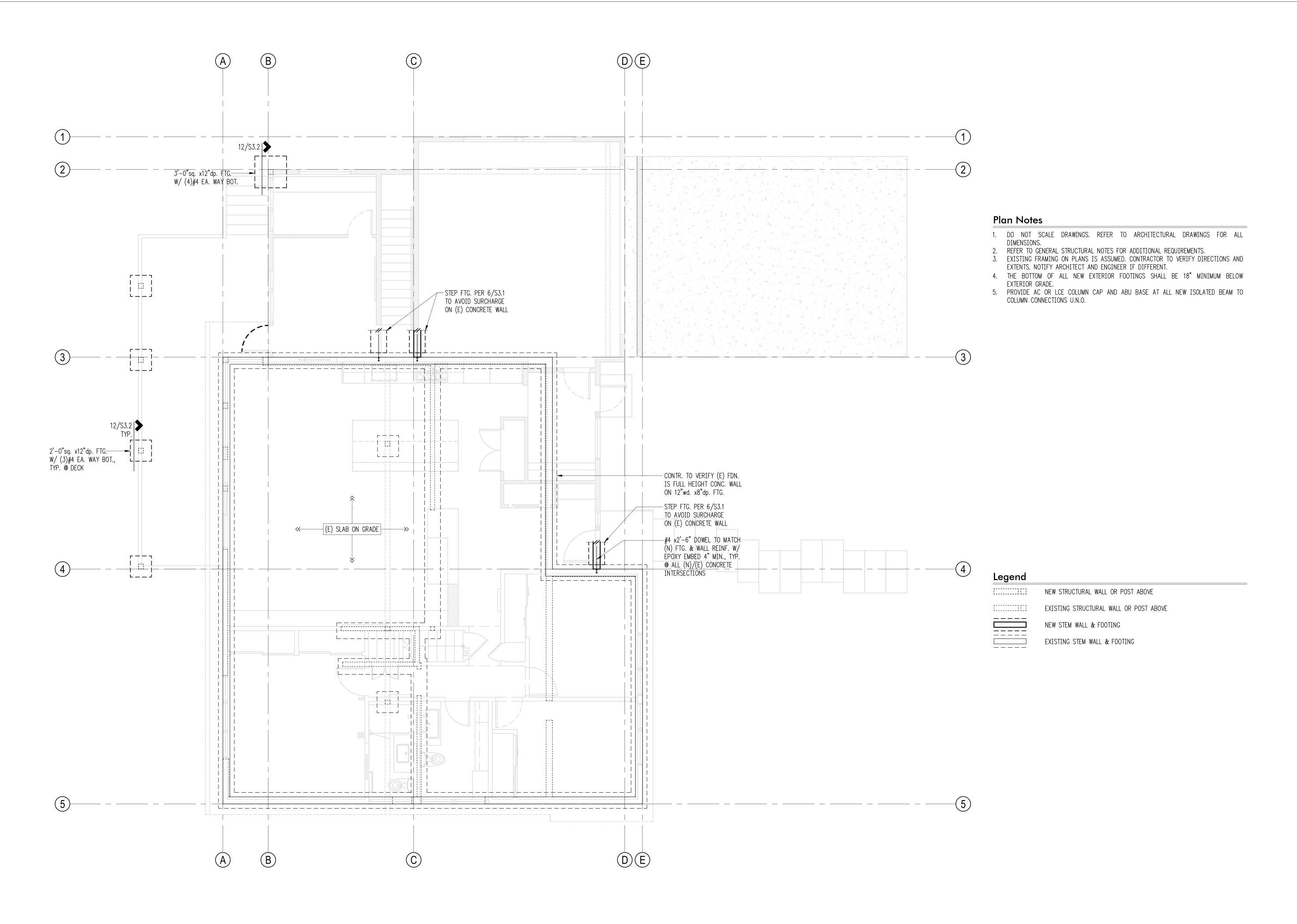
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General Structural Notes

May 9, 2024 PROJECT NO: 10213-2023-02



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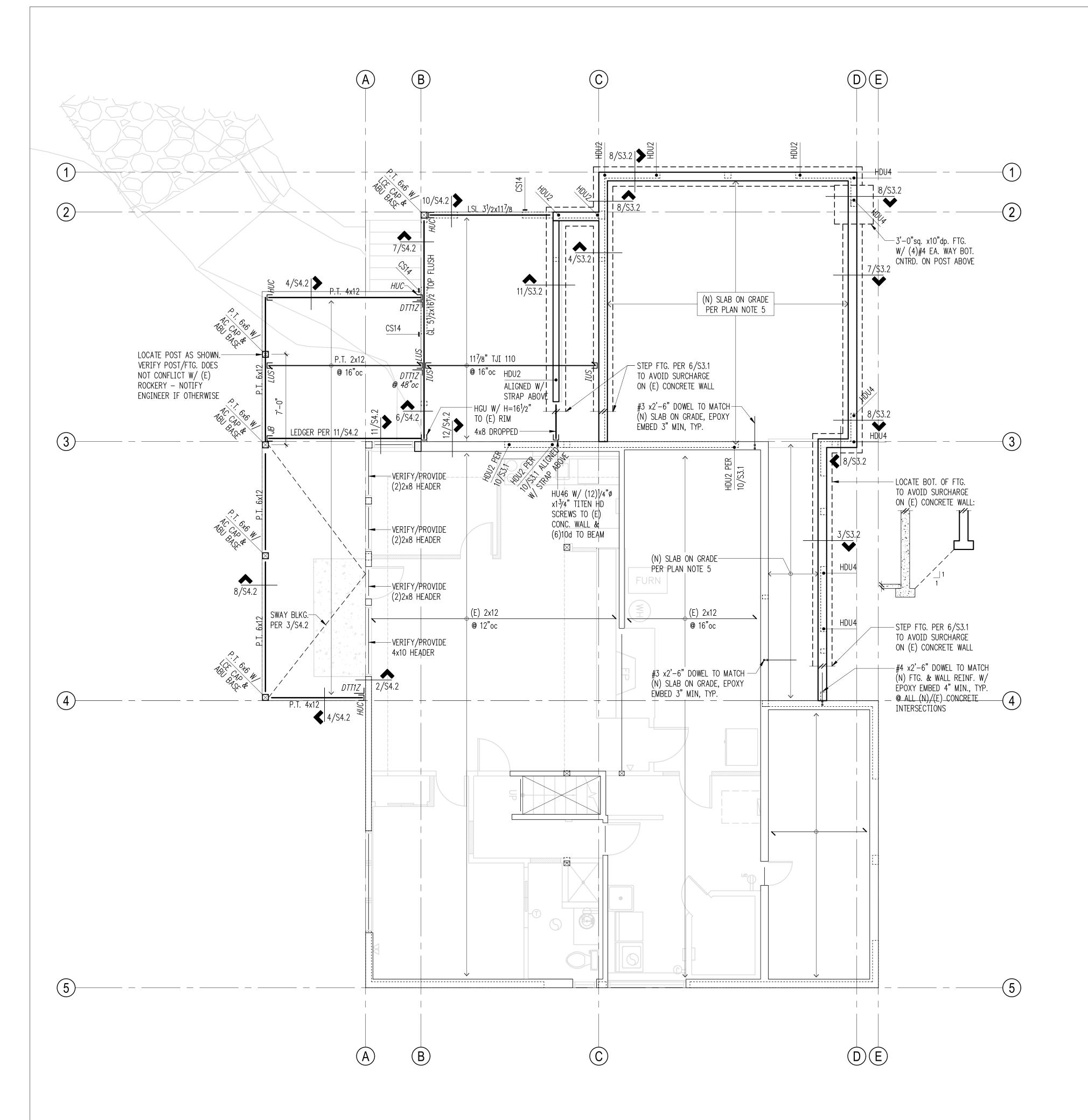
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Foundation Plan

SCALE: 1/4" = 1'-0" U.N.O. DATE: May 9, 2024

PROJECT NO: 10213-2023-02
SHEET NO:

co 1



Plan Notes

- 1. DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL
- 2. REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.
- 3. EXISTING FRAMING ON PLANS IS ASSUMED. CONTRACTOR TO VERIFY DIRECTIONS AND EXTENTS. NOTIFY ARCHITECT AND ENGINEER IF DIFFERENT.
- 4. THE BOTTOM OF ALL NEW EXTERIOR FOOTINGS SHALL BE 18" MINIMUM BELOW EXTERIOR GRADE.
- 5. NEW INTERIOR SLABS ON GRADE SHALL BE 4" MINIMUM THICKNESS. REINFORCE WITH #3 AT 16" O.C. CENTERED IN SLAB. BELOW SLAB PROVIDE A 10-MIL VAPOR BARRIER OVER 6" MINIMUM FREE DRAINING GRAVEL OVER FIRM NATIVE SOILS OR STRUCTURAL FILL.
- 6. ALL NEW POSTS ABOVE SHALL BEAR FULLY ON BEAMS OR POSTS BELOW AND SHALL HAVE FULL CONTINUOUS BEARING THROUGH FLOORS TO FOUNDATION.
- 7. PROVIDE (2) BEARING STUDS AT EACH END OF ALL NEW HEADERS AND BEAMS OVER 3'-0" IN LENGTH, U.N.O.
- 8. PROVIDE AC OR LCE COLUMN CAP AND ABU BASE AT ALL NEW ISOLATED BEAM TO COLUMN CONNECTIONS U.N.O.
- 9. NEW MANUFACTURED LUMBER PRODUCTS (LSL, LVL, PSL, GL) SHALL BE INSTALLED W/ A MOISTURE CONTENT OF 12% OR LESS. THE CONTRACTOR SHALL MAKE PROVISIONS DURING CONSTRUCTION TO PREVENT THE MOISTURE CONTENT OF THE INSTALLED
- BEAMS FROM EXCEEDING 12%. 10. "W_" INDICATES PLYWOOD SHEARWALL BELOW FRAMING SHOWN. REFER TO SHEARWALL SCHEDULE FOR WALL ATTACHMENTS. ALL NEW EXTERIOR WOOD FRAMED WALLS ARE W6,
- 11. TYPICAL NEW FLOOR FRAMING CONSISTS OF FLOORING PER ARCHITECT OVER 3/4" T&G APA RATED PLYWOOD FACE GRAIN PERPENDICULAR TO FRAMING PER PLAN, U.N.O. NAIL FLOOR SHEATHING W/ 8D AT 6" O.C. AT FRAMED PANEL EDGES AND OVER SHEARWALLS AND COLLECTORS, AND AT 12" O.C. IN FIELD.

Legend	
	NEW STRUCTURAL WALL OR POST BELOW
	EXISTING WALL OR POST BELOW
	NON-STRUCTURAL WALL BELOW
	NEW STRUCTURAL WALL OR POST ABOVE
[[[]]	EXISTING STRUCTURAL WALL OR POST ABOVE
	NEW STEM WALL & FOOTING
Wx	SHEARWALL PER 12/S4.1
	SPAN DIRECTION
$\longleftrightarrow\!$	EXTENT OF JOISTS
	NEW HEADER/BEAM PER PLAN
	EXISTING HEADER/BEAM
	HANGER
CSxx	HOLDOWN STRAP PER 10/S4.1, U.N.O.
• HDUx	HOLDOWN PER 12/S3.1, U.N.O.



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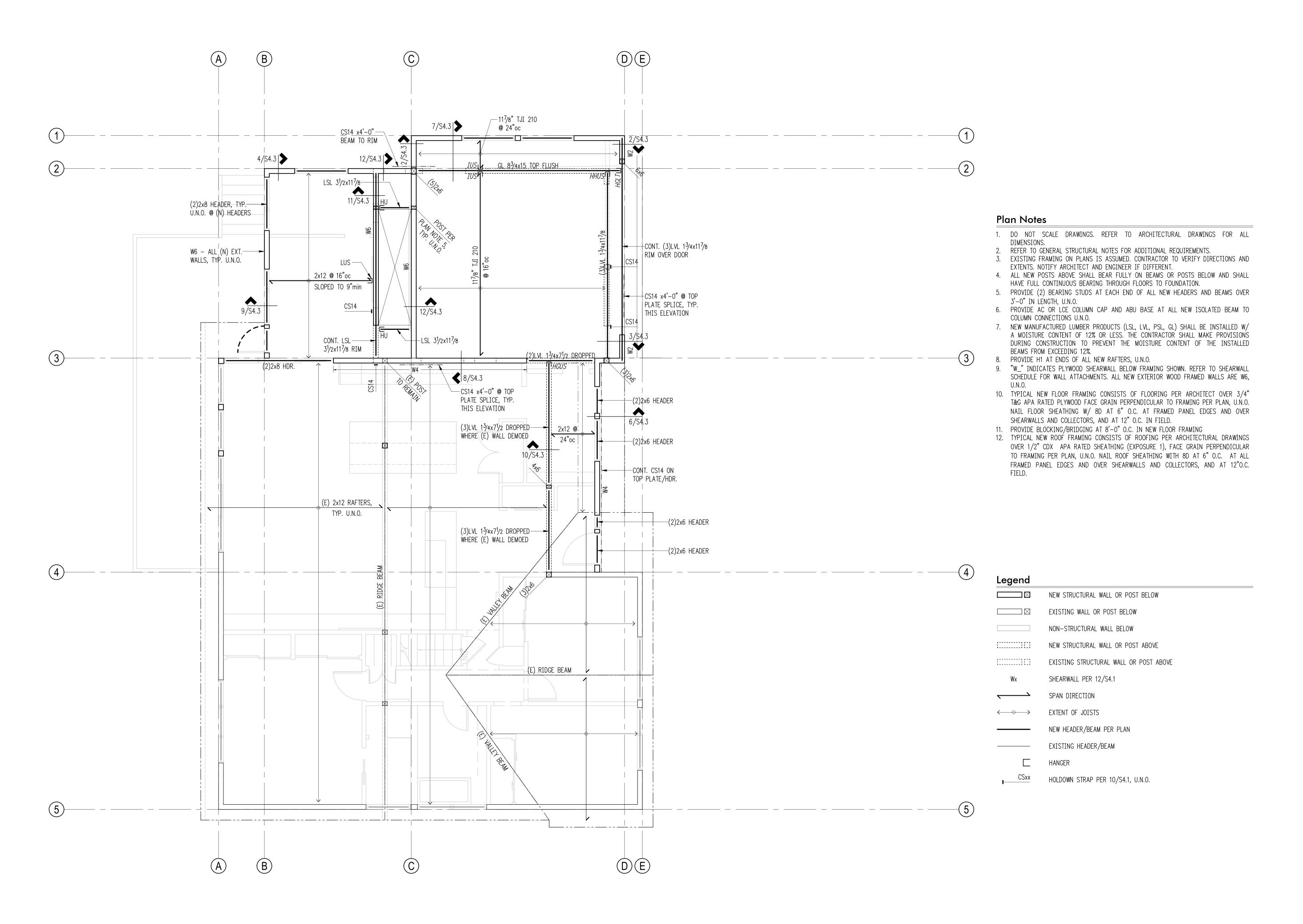
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Main Floor Framing Plan

1/4" = 1'-0" U.N.O. May 9, 2024 PROJECT NO:

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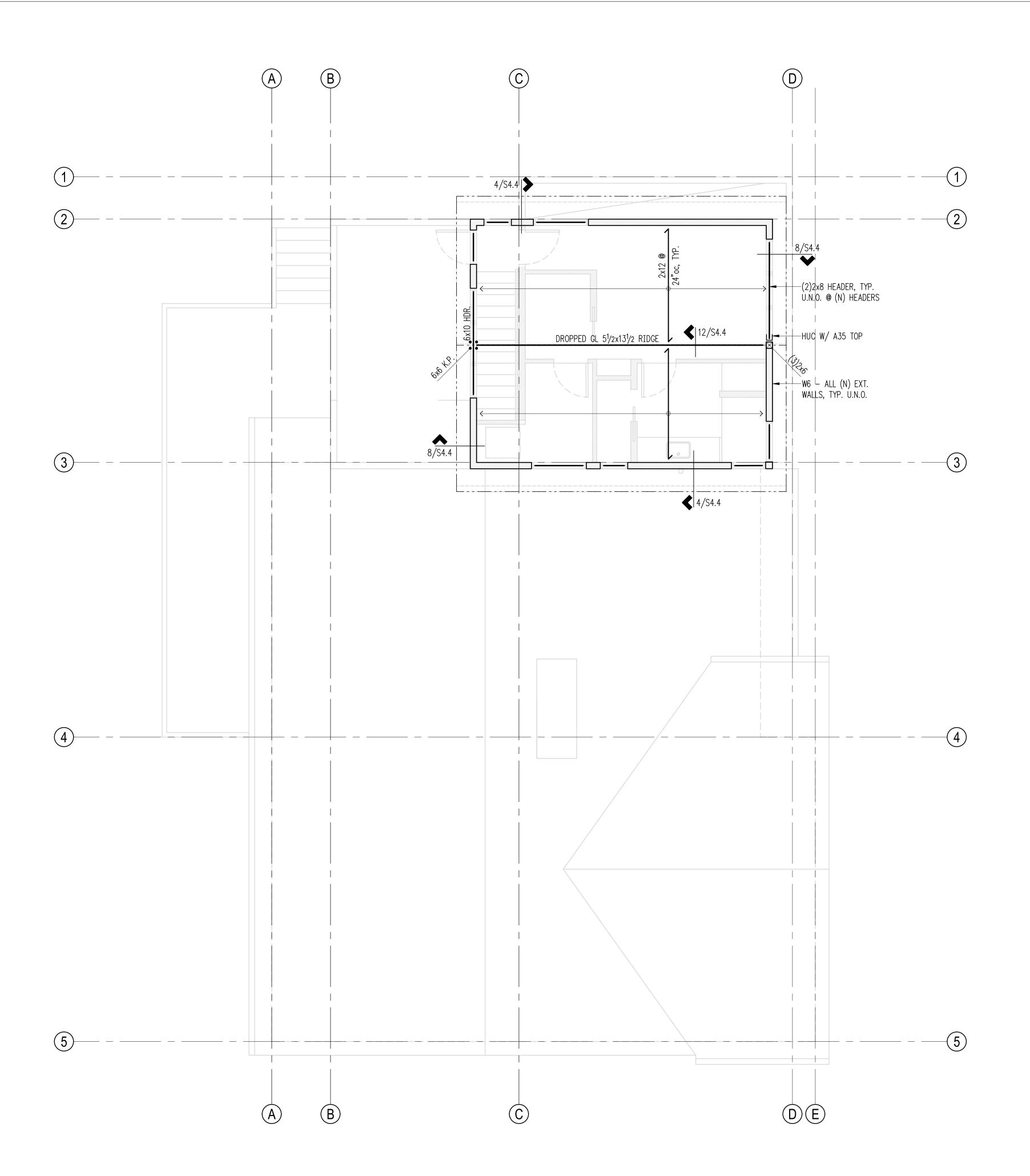
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Upper Floor/ Low Roof Framing Plan

1/4" = 1'-0" U.N.O.

May 9, 2024 PROJECT NO: 10213-2023-02

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Plan Notes

- DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.
- REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.
 ALL NEW POSTS ABOVE SHALL BEAR FULLY ON BEAMS OR POSTS BELOW AND SHALL
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- 4. PROVIDE (2) BEARING STUDS AT EACH END OF ALL NEW HEADERS AND BEAMS OVER 3'-0" IN LENGTH, U.N.O.
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- 6. NEW MANUFACTURED LUMBER PRODUCTS (LSL, LVL, PSL, GL) SHALL BE INSTALLED W/A MOISTURE CONTENT OF 12% OR LESS. THE CONTRACTOR SHALL MAKE PROVISIONS DURING CONSTRUCTION TO PREVENT THE MOISTURE CONTENT OF THE INSTALLED BEAMS FROM EXCEEDING 12%.
- 7. PROVIDE H1 AT ENDS OF ALL NEW RAFTERS, U.N.O.
- 8. "W_" INDICATES PLYWOOD SHEARWALL BELOW FRAMING SHOWN. REFER TO SHEARWALL SCHEDULE FOR WALL ATTACHMENTS. ALL NEW EXTERIOR WOOD FRAMED WALLS ARE W6,
- 9. TYPICAL NEW ROOF FRAMING CONSISTS OF ROOFING PER ARCHITECTURAL DRAWINGS OVER 1/2" CDX APA RATED SHEATHING (EXPOSURE 1), FACE GRAIN PERPENDICULAR TO FRAMING PER PLAN, U.N.O. NAIL ROOF SHEATHING WITH 8D AT 6" O.C. AT ALL FRAMED PANEL EDGES AND OVER SHEARWALLS AND COLLECTORS, AND AT 12"O.C. FIELD.

Legend	
	NEW STRUCTURAL WALL OR POST BELOW
	EXISTING WALL OR POST BELOW
	NON-STRUCTURAL WALL BELOW
Wx	SHEARWALL PER 12/S4.1
	SPAN DIRECTION
$\longleftrightarrow\!$	EXTENT OF JOISTS
	NEW HEADER/BEAM PER PLAN
	EXISTING HEADER/BEAM
	HANGER

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Roof Framing Plan

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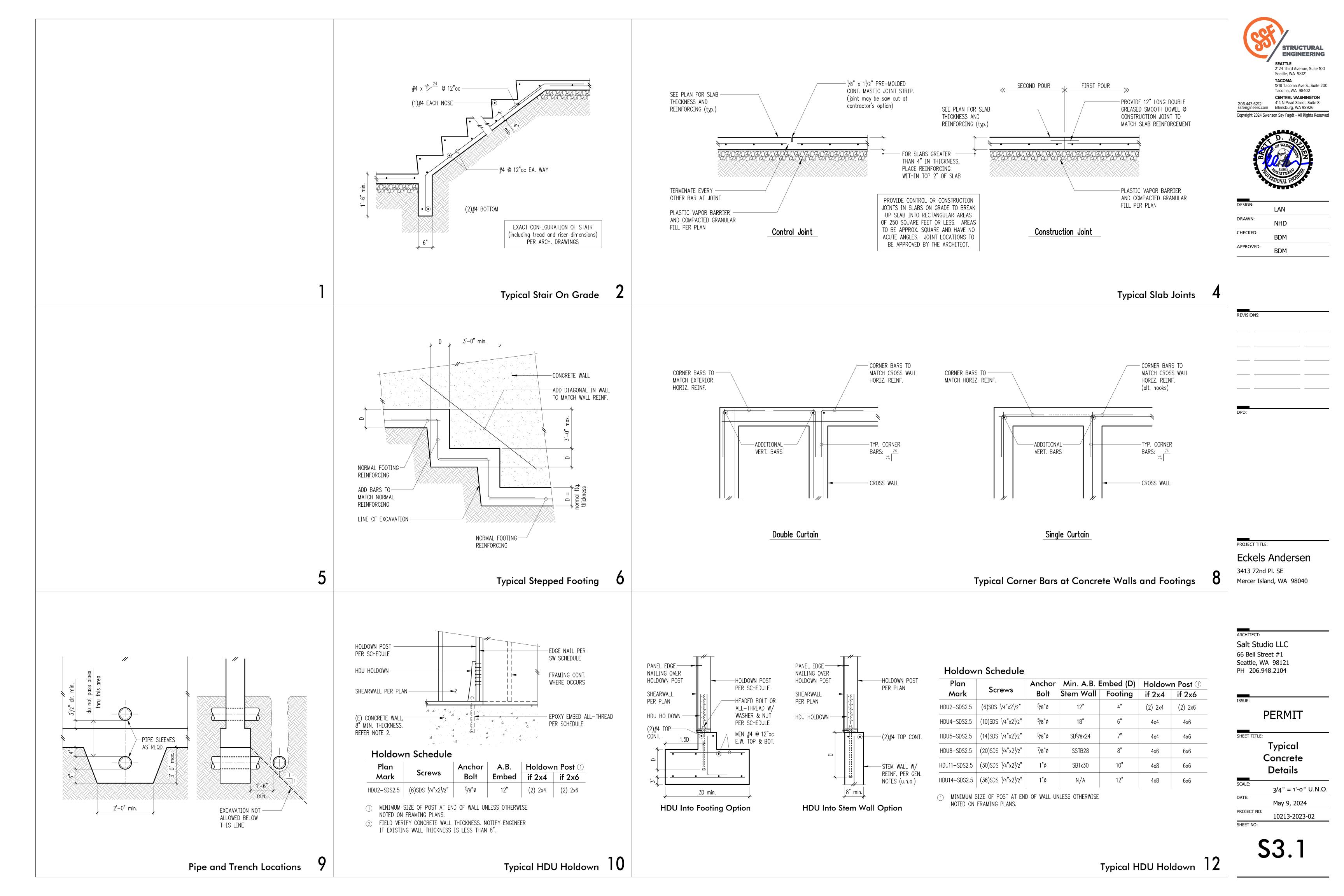
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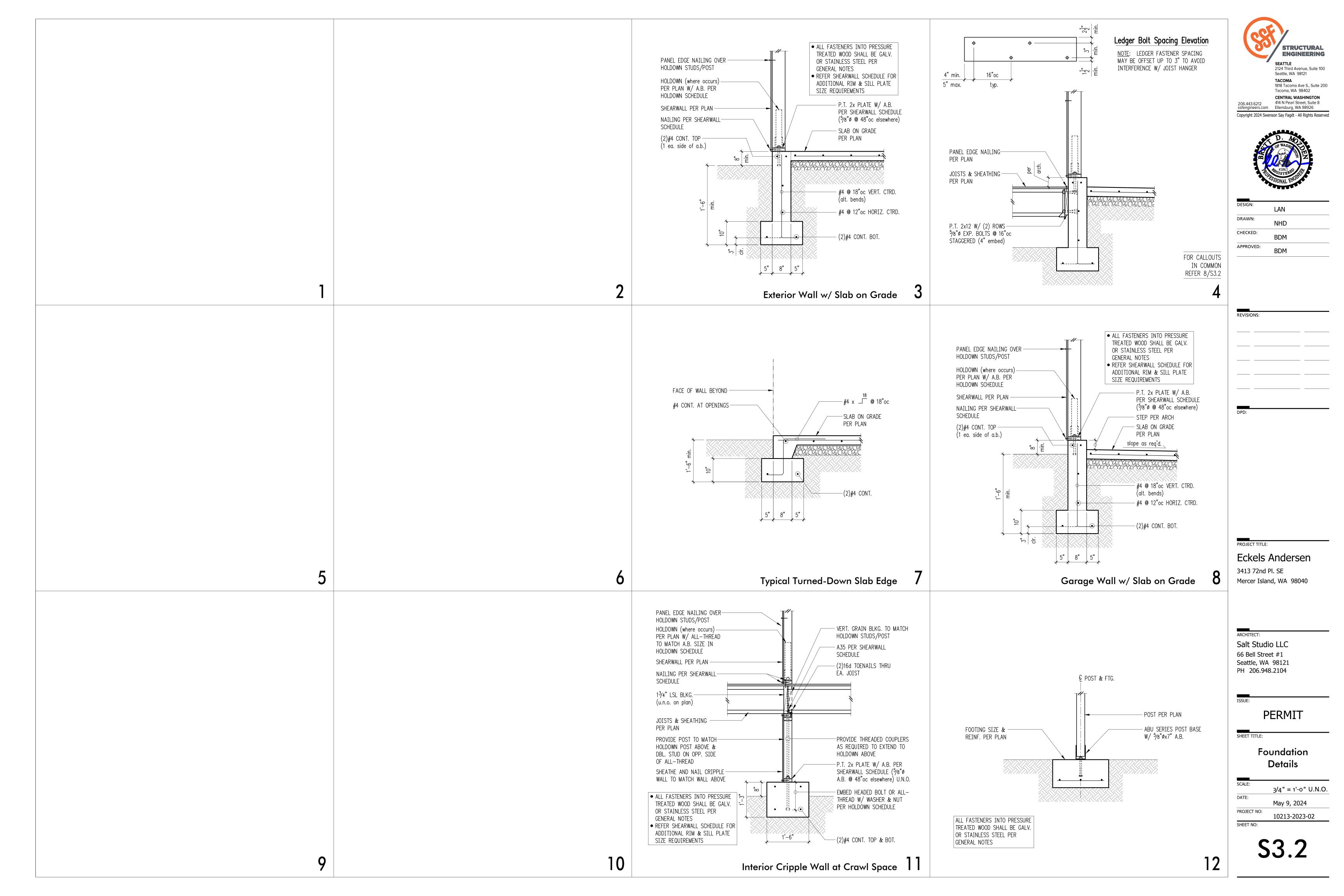
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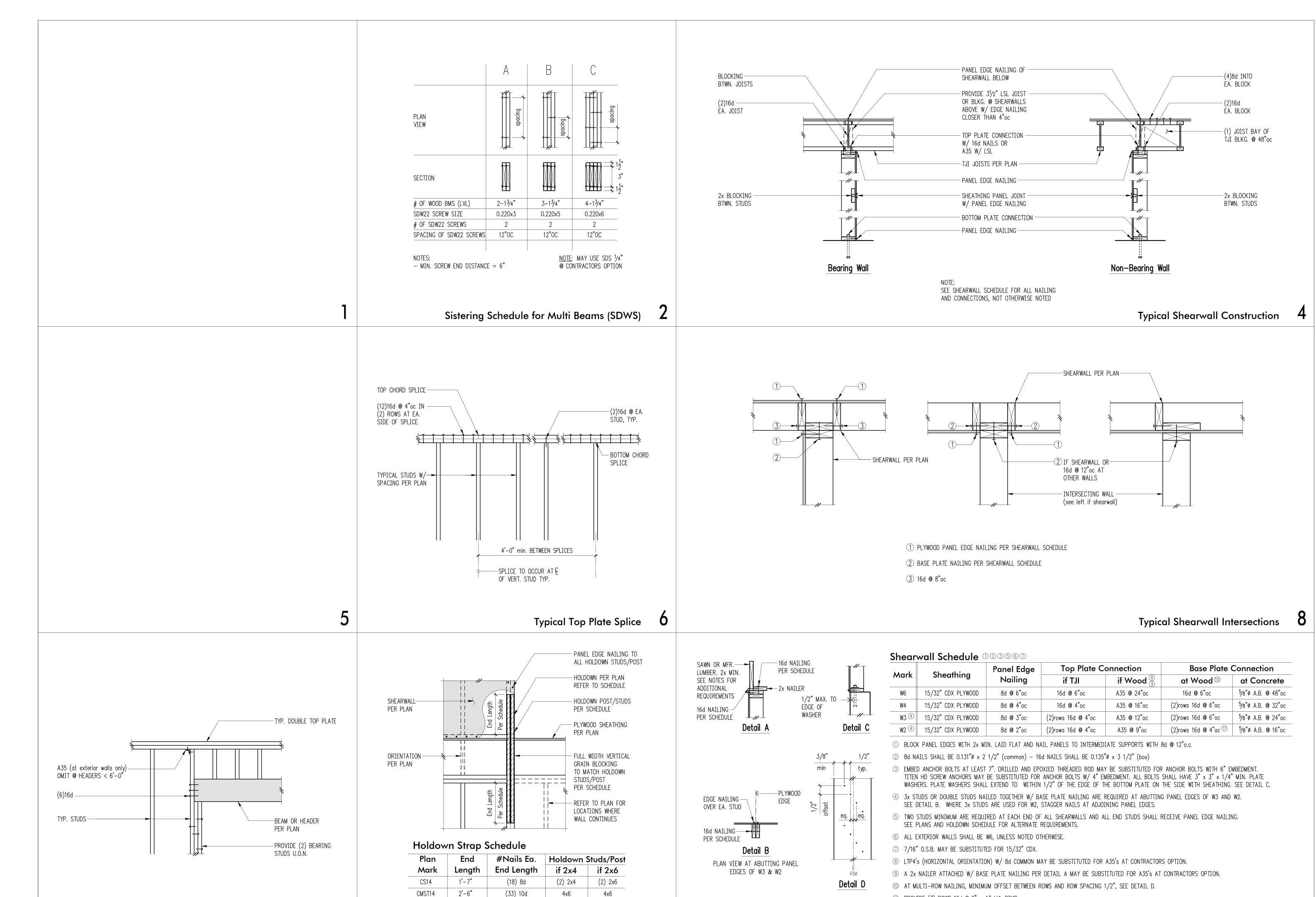
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Roof Framing Plan

Scale: 1/4" = 1'-0"







3'-3"

Typical Header Support w/2 Bearing Studs

(43) 10d

4x8

6x6

Typical Holdown Schedule 10

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Typical
Wood Framing

Details

= 3/4" = 1'-0" U.N.O.

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S4 1

Shearwall Schedule 12

① PROVIDE (3) ROWS 16d @ 6"oc AT LVL RIMS.

