

GENERAL NOTES

- ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH APPLICABLE LAWS, REGULATIONS, AND CODES. CONTRACTOR SHALL NOTIFY STATE AND LOCAL AUTHORITIES BEFORE COMMENCEMENT OF WORK.
- CONTRACTOR SHALL VISIT THE SITE, FAMILIARIZE HIM/HERSELF WITH THE EXISTING CONDITIONS AND REVIEW AND UNDERSTAND THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND CONDITIONS PRIOR TO BEGINNING ANY WORK AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCY. DO NOT SCALE DRAWINGS TO OBTAIN DIMENSIONS. WRITTEN DIMENSIONS GOVERN. USE ACTUAL FIELD MEASUREMENTS. NOTIFY ARCHITECT IF ANY DISCREPANCIES ARE FOUND. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CORRECTIONS AND REPAIRS REQUIRED DUE TO THEIR FAILURE TO DO SO.
- PROTECT ALL WORK WHICH IS INDICATED TO REMAIN, INCLUDING BUILDINGS, PAVEMENTS, CURBS, & THE LIKE ON THE SITE & ADJACENT.
- ALL LINES ARE PARALLEL OR PERPENDICULAR TO THE LINES FROM WHICH THEY ARE MEASURED UNLESS NOTED OTHERWISE. CONTRACTOR SHALL VERIFY ALL DIMENSIONS & RELATIONS TO OTHER WORK PRIOR TO FABRICATION & INSTALLATION.
- COORDINATES & WRITTEN DIMENSIONS SHALL PREVAIL. DIMENSIONS ARE TO STRUCTURAL GRID OR TO FINISH SURFACES. DO NOT SCALE DRAWINGS.
- SOLELY AS A CONVENIENCE TO THE OWNER AND CONTRACTOR, THE ARCHITECT MAY INCLUDE DOCUMENTS PREPARED BY CERTAIN CONSULTANTS AND/OR VENDORS (OR INCORPORATE THE RECOMMENDATIONS OF SAID CONSULTANTS AND/OR VENDERS INTO DOCUMENTS PREPARED BY THE ARCHITECT) WITHIN THE SET OF DOCUMENTS ISSUED BY THE ARCHITECT. IT IS EXPRESSLY UNDERSTOOD, THAT BY SUCH ISSUANCE, THE ARCHITECT ASSUMES NO LIABILITY FOR THE SERVICES FOR SAID CONSULTANTS AND/OR VENDERS.
- THE SOILS REPORT, IF REQUIRED, ESTABLISHES THE RECOMMENDATIONS FOR EARTHWORK CONSTRUCTION AND SAID RECOMMENDATIONS ARE A PART OF THE CONSTRUCTION CONTRACT. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR FINDINGS AND CONCLUSIONS IN THE SOILS REPORT AND INCLUDES IT FOR REFERENCE ONLY. CONTRACTOR SHALL NOTIFY THE ARCHITECT, ENGINEER AND OWNER OF ANY DISCREPANCY BETWEEN THIS REPORT AND THE PLANS PRIOR TO BEGINNING WORK. THE MORE STRINGENT REQUIREMENT SHALL APPLY.
- UNLESS OTHERWISE INDICATED ON THESE DRAWINGS OR IN THE PROJECT MANUAL AND SPECIFICATIONS AS BEING N.I.C. OR EXISTING, ALL ITEMS, MATERIALS, ETC. AND INSTALLATION OF THE SAME ARE A PART OF THE CONTRACT DEFINED BY THESE DRAWINGS AND SPECIFICATIONS.
- CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS AND COMPLY WITH SAFETY REGULATIONS AND RESTRICTIONS AS REQUIRED FOR WORKERS AND PEDESTRIAN PROTECTION DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT. PROVIDE PROTECTION AS REQUIRED TO PREVENT ANY DAMAGE TO EXISTING CONSTRUCTION WITHIN AND ADJACENT TO JOB SITE. WHERE DAMAGE OCCURS, THE CONTRACTOR SHALL REPAIR OR REPLACE DAMAGED AREA AND/OR MATERIAL AS REQUIRED TO THE OWNER'S APPROVAL AT NO ADDITIONAL COST. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
- IF THERE ARE TRENCHES OR EXCAVATION 5'-0" OR MORE IN DEPTH INTO WHICH A PERSON IS REQUIRED TO DESCEND, CONTRACTOR SHALL OBTAIN NECESSARY PERMIT FROM THE STATE DIVISION OF INDUSTRIAL SAFETY.
- CONTRACTOR TO PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION UTILITIES, OTHER SERVICES AND RELATED TASKS NECESSARY FOR PROPER EXECUTION OF THE CONSTRUCTION REQUIRED BY THE CONTRACT DOCUMENTS.
- ANY REVISION OR ADDITIONAL WORK REQUIRED BY THE FIELD CONDITIONS OR LOCAL GOVERNING AUTHORITIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING.
- SHOULD ANY ASPHALTIC CONCRETE REQUIRE PATCHING ADJACENT TO BUILDINGS, IT SHALL BE DONE ACCORDING TO THE PAVING SPECIFICATIONS AND THE SOILS REPORT AND SHALL BE OF THE SAME SECTION AND DRAINAGE SCHEME AS ADJACENT PAVED AREAS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL PERMITS, LICENSES, INSPECTIONS AND TESTING INDICATED ON THE PLANS AND/OR BY SPECIFICATIONS OR REQUIRED BY THE SOILS REPORT AND/OR REQUIRED BY ANY GOVERNMENT AGENCY. CONTRACTOR SHALL VERIFY THE SIZE AND LOCATION OF ALL UTILITY LINES AND STUBS TO THE BUILDING AS MAY BE INDICATED ON THE PLANS. CONTRACTOR SHALL BE REQUIRED TO BRING ALL UTILITY LINES (WATER, SEWER, GAS AND ELECTRICAL), INTO THE BUILDING, FROM TERMINATION POINTS AS INDICATED ON THE PLANS, READY FOR SERVICE.
- ALL EXTERIOR OPENINGS SHALL COMPLY WITH CITY SECURITY ORDINANCES.
- NO ADDITIONAL ROOF OPENING OR ROOF MOUNTED EQUIPMENT IS ALLOWED BEYOND THAT WHICH IS SHOWN ON THESE PLANS WITHOUT WRITTEN CONSENT OF THE ARCHITECT AND STRUCTURAL ENGINEER. NO STRUCTURAL MEMBER SHALL BE CUT FOR PIPES, A/C DUCTS, ETC., UNLESS SPECIFICALLY DETAILED AND/OR APPROVED BY THE STRUCTURAL ENGINEER.
- ALL SHOP WELDING TO BE DONE IN A CERTIFIED LICENSED SHOP. ALL FIELD WELDING SHALL BE DONE BY LICENSED WELDERS UNDER CONTINUOUS INSPECTION WITH CERTIFICATE ISSUED AS REQUIRED BY BUILDING OFFICIAL.
- ONE SET OF THE APPROVED PLANS BEARING THE STAMPS OF THE AGENCY WITH JURISDICTION MUST BE MAINTAINED ON THE PROJECT SITE THROUGHOUT ALL PHASES OF CONSTRUCTION AND MUST BE MADE AVAILABLE TO BUILDING AND FIRE INSPECTORS FOR REFERENCE DURING INSPECTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SYSTEMS, INCLUDING, BUT NOT LIMITED TO, MECHANICAL, PLUMBING, AND ELECTRICAL WORK. WORK SHOWN ON THE DRAWINGS IS INTENDED TO ILLUSTRATE THE GENERAL DESIGN INTENT, SCOPE, AND LOCATION OF WORK. ALL WORK NOT SPECIFICALLY DRAWN, BUT REQUIRED FOR A COMPLETE, LEGAL, AND FUNCTIONING SYSTEM, SHALL BE PROVIDED AS PART OF THE WORK. MECHANICAL, ELECTRICAL AND PLUMBING PERMITS ARE NOT INCLUDED IN THIS SCOPE.

SITE NOTES

- THE CONTRACTOR SHALL VERIFY DIMENSIONS OF EXISTING SITE CONDITIONS, DISTANCES, AND TOPOGRAPHIC CONTOURS. SITE CONDITIONS SHOWN ARE FROM OWNER-PROVIDED INFORMATION, SURVEYS BY OTHERS, AND PUBLIC RECORDS. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE SURVEY OR EXISTING SITE INFORMATION.
- THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UTILITIES BEFORE BEGINNING CONSTRUCTION BY RETAINING A UTILITY LOCATION SERVICE AND MARKING ALL UNDERGROUND UTILITY LOCATIONS. ANY UTILITY LOCATIONS SHOWN ON THE DRAWINGS ARE BASED ON AVAILABLE RECORDS AND ARE SHOWN FOR CONVENIENCE ONLY. UTILITIES MAY BE PRESENT BUT NOT SHOWN ON THE DRAWINGS. CARE SHOULD BE TAKEN TO AVOID DAMAGE TO EXISTING UTILITIES. THE CONTRACTOR SHALL COORDINATE CONNECTION LOCATIONS AND ELEVATIONS WITH THE UTILITY COMPANIES. RELOCATION OF UTILITIES, IF NECESSARY, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE GEOTECHNICAL REPORT, IF REQUIRED, ESTABLISHES THE RECOMMENDATIONS FOR EARTHWORK CONSTRUCTION AND SAID RECOMMENDATIONS ARE A PART OF THE CONSTRUCTION CONTRACT. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR FINDINGS AND CONCLUSIONS IN THE GEOTECHNICAL OR SOILS REPORT(S) AND INCLUDES IT FOR REFERENCE ONLY. CONTRACTOR SHALL NOTIFY THE ARCHITECT, ENGINEER AND OWNER OF ANY DISCREPANCY BETWEEN THIS REPORT AND THE PLANS PRIOR TO BEGINNING WORK. THE MORE STRINGENT REQUIREMENT SHALL APPLY.
- THE CONTRACTOR SHALL EXECUTE AND COMPLETE ALL WORK ON ADJACENT PROPERTIES AND PUBLIC RIGHTS-OF-WAY THAT IS REQUIRED BY CONSTRUCTION EASEMENT AGREEMENTS WITH NEIGHBORING PROPERTY OWNERS, PRIVATE CONTRACT DOCUMENTS WITH THE CITY OF MERCER ISLAND'S TRANSPORTATION, STREET USE PERMITS, OR ANY OTHER AGREEMENT OR CONTRACT. ALL IMPROVEMENTS AND REPAIRS TO SIDEWALKS, ALLEYS, STREETS AND NEIGHBORING PROPERTIES SHALL BE COORDINATED TO MINIMIZE THE IMPACT ON THE PUBLIC AND TO MAINTAIN ACCESS TO NEIGHBORING PROPERTIES. THE CONTRACTOR SHALL MAKE ARRANGEMENTS AND SECURE NECESSARY PERMITS WHEN CONSTRUCTION REQUIRES STREET OR SIDEWALK CLOSURES.
- PROTECT ALL WORK WHICH IS INDICATED TO REMAIN, INCLUDING BUILDINGS, PAVEMENTS, CURBS, & THE LIKE ON THE SITE & ADJACENT.
- IF ANY HAZARDOUS MATERIAL, INCLUDING BUT NOT LIMITED TO ASBESTOS, LEAD OR POLYCHLORINATED BIPHENYL (PCB), IS ENCOUNTERED ON THE SITE BY THE CONTRACTOR, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER.

GENERAL INFORMATION

ADDRESS: 3413 72ND PL SE MERCER ISLAND WA 98040
PARCEL NUMBER: 130030-1360
OWNER'S NAME: JANE ECKELS AND HANS ANDERSEN
LEGAL DESCRIPTION: SEE SHEET A1.0

SCOPE OF WORK

REPLACEMENT OF EXISTING GARAGE (SAME FOOTPRINT), 244 SF MAIN LEVEL ADDITION, 368 SF SECOND LEVEL ADDITION, INTERIOR REMODEL PER PLANS, ADU AT EXISTING LOWER LEVEL.
NOTE: MECHANICAL, ELECTRICAL, AND PLUMBING DESIGN IS NOT INCLUDED IN THIS SET. CONTRACTOR IS RESPONSIBLE FOR ANY ADDITIONAL PERMITS.

GOVERNING BUILDING CODES

WASHINGTON STATE AMENDMENTS TO CODES REFERENCED BELOW
CITY OF MERCER ISLAND AMENDMENTS TO CODES REFERENCED BELOW
2021INTERNATIONAL RESIDENTIAL CODE (IRC)
2021 INTERNATIONAL EXISTING BUILDING CODE
2021 INTERNATIONAL FIRE CODE (IFC)
2021 WASHINGTON STATE ENERGY CODE (WSEC-R)
2021 INTERNATIONAL MECHANICAL CODE (IMC)
2021 UNIFORM PLUMBING CODE (UPC)

BUILDING CODE INFORMATION

YEAR CONSTRUCTED 1959
OCCUPANCY GROUP R-3/U-1
TYPE OF CONSTRUCTION VN

DWELLING/GARAGE SEPARATION WALLS NOT LESS THAN 1/2" GWB APPLIED ON GARAGE SIDE
CEILING NOT LESS THAN 5/8" TYPE X GWB
STRUCTURE SUPPORTING SEPARATION NOT LESS THAN 1/2" GWB

ZONING CODE INFORMATION

ZONING R8.4
LOT AREA 7,500 SF.PER KC RECORDS
SETBACKS SEE SITE PLAN
HEIGHT 31'-1" TO RIDGE

ENERGY CODE INFORMATION: SEE A0.3

CLIMATE ZONE 4C

FENESTRATION U-FACTOR (MAX) 0.30/ U-28 PROPOSED
SKYLIGHT U-FACTOR (NA) 0.50
CEILING R-VALUE (MIN) 49
SINGLE RAFTER OR JOIST VAULTED 38
WOOD FRAME R-VALUE 21 INT
MASS WALL (NA) 21/21
FLOOR R-VALUE 30
BELOW GRADE WALL (NA) 10/15/21 INT + TB
SLAB ON GRADE 10, 2 FT
REQUIRED ENERGY CREDITS 5

NOTE:

- HVAC SYSTEM FOR ADDITION SHALL BE INSTALLED PER IMC, WORK TO BE COMPLETED UNER SEPARATE PERMIT.

ENERGY EFFICIENCY:

PROVIDE A PROGRAMMABLE THERMOSTAT FOR THE PRIMARY SPACE CONDITIONING SYSTEM WITHIN THE ADDITION PER SEC R40.13
A MINIMUM OF 90 PERCENT OF PERMANENTLY INSTALLED LAMPS IN LIGHTING FIXTURES SHALL BE HIGH EFFICACY PER SEC R404.11

WHOLE HOUSE VENTILATION

INTERMITTENT WHOLE HOUSE VENTILATION USING EXHAUST FAN SYSTEM PER M1505.4.4
RUNTIME 50%
AIRFLOW RATE 90CFM x 2 FACTOR= 180 CFM

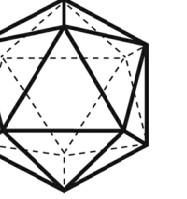
WHOLE-HOUSE FAN LOCATED 4 FT OR LESS TO INTERIOR GRILLE SHALL HAVE A SONE RATING OF MAX 1.0. LOCATION: ADDITION LAUNDRY/DRYING ROOM

AREA	LOCAL EXHAUST RATES
KITCHEN	100 CFM INTERMITTENT
BATHROOM-TOILET ROOM, LAUNDRY	MECHANICAL EXHAUST CAPACITY 50 CFM INTERMITTENT

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SALT STUDIO

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ECKELS ANDERSEN ADDITION

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PERMIT SET

DATE: MAY, 2024
PROJECT#: 157
SCALE: AS NOTED

50% SD 02/14/23
100% SD 03/24/23
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REV 1 10/23/23
REVISED SCOPE 12/15/23
OPTIONS 02/02/24
PERMIT 05/28/24

DESIGNED: LH
DRAWN: LH
REVIEWED: LH

GENERAL INFORMATION

A0.0

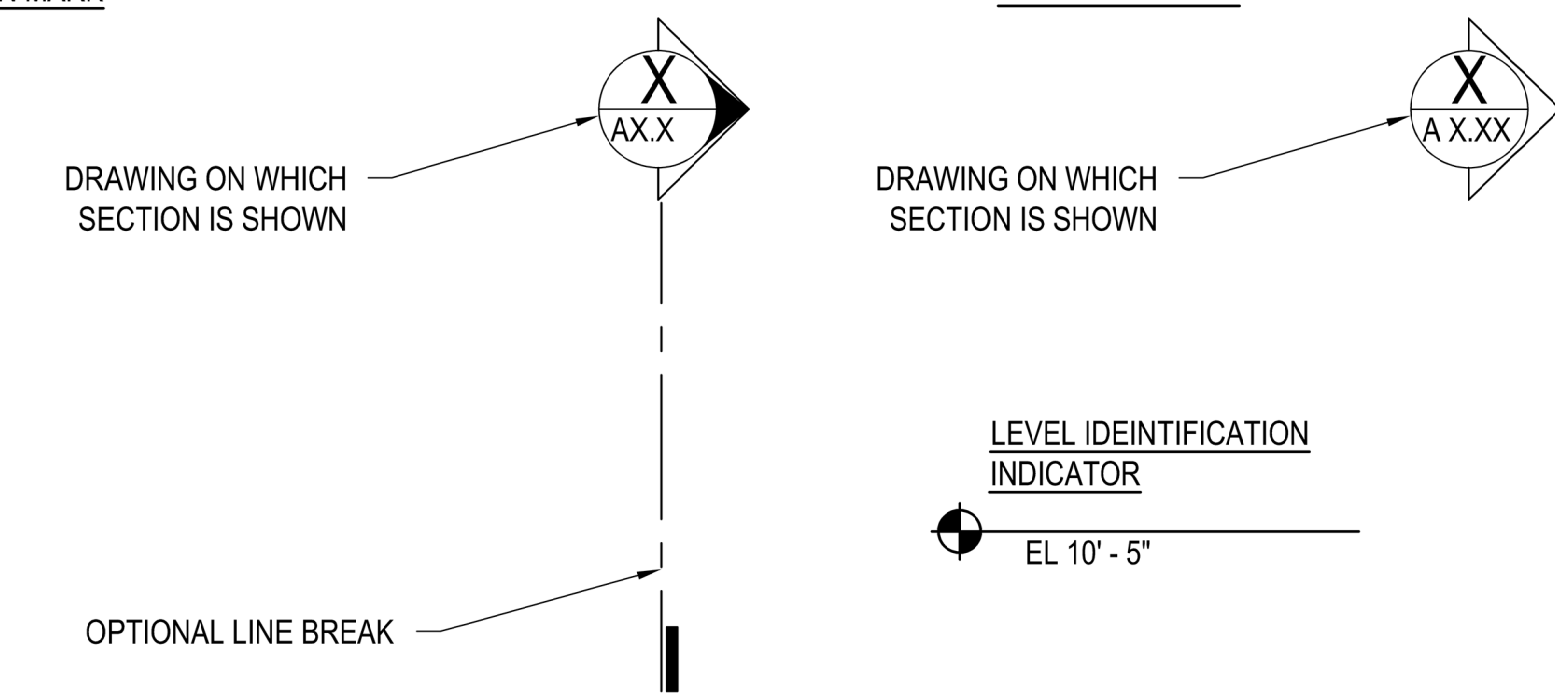
MATERIALS

	EARTH SURFACE
	SAND / GROUT
	CONCRETE
	WOOD OR METAL STUD WALLS
	GYPSUM BOARD
	CONT. WOOD FRAMING
	WOOD BLOCKING
	FINISHED WOOD
	PLYWOOD
	BATT INSULATION
	RIGID INSULATION BOARD
	BRICK
	CONCRETE UNIT MASONRY
	STEEL
	GLASS
	RESILIENT TILES

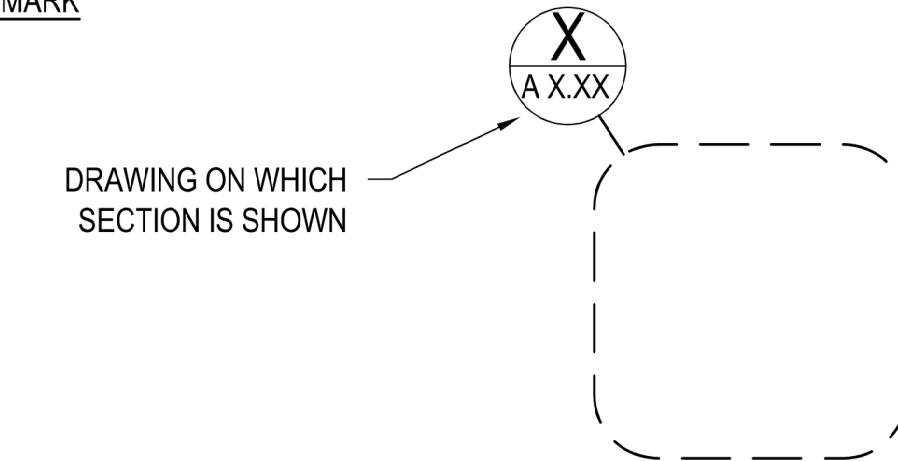
REFERENCING

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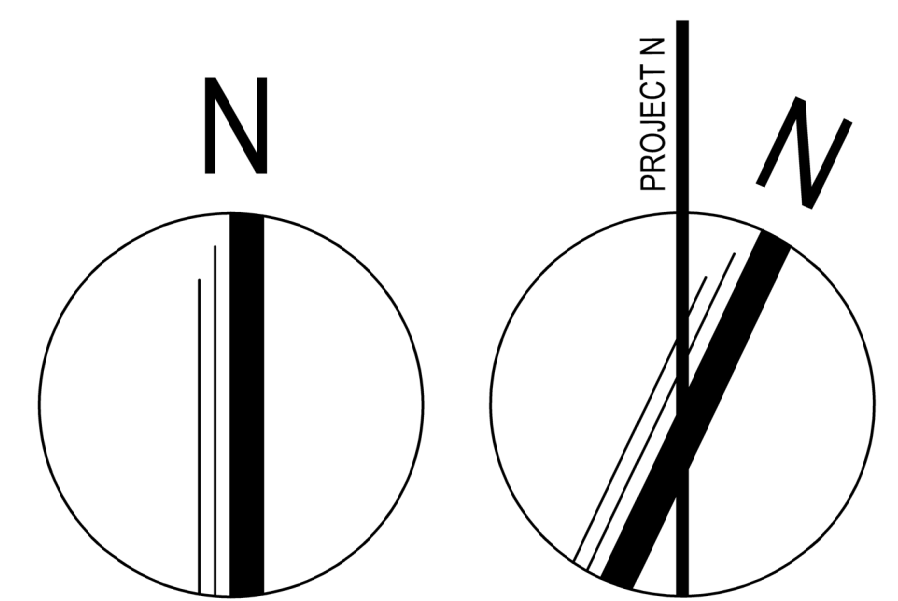
SECTION MARK



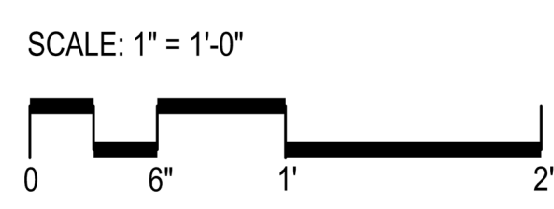
DETAIL MARK



NORTH ARROW



GRAPHIC SCALE



DIMENSIONING STANDARDS

- DO NOT SCALE DRAWINGS FOR DIMENSIONS. DIMENSIONS ARE INDICATED IN THE DOCUMENTS.
- ALL INTERIOR PARTITIONS ARE DIMENSIONED TO THE FACE OF WALL UNLESS NOTED OTHERWISE.
- THE TERM "EQUAL" OR "EQ" IS USED IN LIEU OF ACTUAL DIMENSIONS WHERE EQUAL SPACING OF ELEMENTS IS REQUIRED.
- THE TERM "CLEAR" OR "CLR" IS USED TO DENOTE A MINIMUM DIMENSIONAL REQUIREMENT. HOWEVER, THE DIMENSION COULD BE LARGER.
- WALLS CENTERED ON A COLUMN OR GRIDLINE WILL NOT BE DIMENSIONED ON PLANS BUT WILL BE DRAWN AS INDICATED BELOW.

SYMBOLS

	GRIDLINE MARK
	DOOR IDENTIFICATION MARK
	WALL TYPE MARK
	FIRE EXTINGUISHER CABINET
	KEY NOTE
	DOWN SPOUT
	REVISION CLOUD
	REVISION DELTA
	ε CENTER LINE
	ε PROPERTY LINE
	HIDDEN OR EXISTING CONSTRUCTION
	BREAK LINE

ABBREVIATIONS

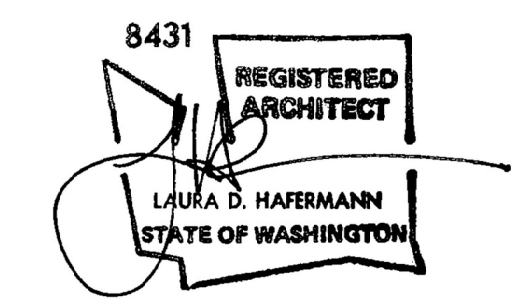
AB	ANCHOR BOLT	FLR	FLOOR	P LAM	PLASTIC LAMINATE
ACT	ACOUSTICAL CEILING TILE	FLG	FLANGE	PT	PAINT
ADJC	ADJACENT	FRFP	FIREPROOF, FRAME	PREFIN	PREFINISHED
ADJ	ADJUSTABLE	FRC	FIBER REINFORCED CONCRETE	PRV	POWER ROOF VENT
AFF	ABOVE FINISH FLOOR	FSB	FOOD STORAGE BUILDING	PSF	LBS PER SQUARE FOOT
AHU	AIR HANDLING UNIT	FTG	FOOTING	PTD	PAPER TOWEL DISPENSER
ALUM	ALUMINUM	FTR	FINNED TUBE RADIATION	QT	QUARRY TILE
BD	BOARD	GA	GAGE	R	RADIUS, RISER
BFE	BOTTOM FOOTING ELEVATION	GALV	GALVANIZED	RAD	RADIATOR
BITUM	BITUMINOUS	GI	GALVANIZED IRON	RC	REINFORCED CONCRETE
BLDG	BUILDING	GC	GENERAL CONTRACTOR	RCP	REINFORCED CONCRETE PIPE
BLK	BLOCK	GL	GLASS, GLAZING	RD	ROOF DRAIN
BLKG	BLOCKING MACHINE	GND	GROUND	RECPT	RECEPTACLE
BM	BEAM	GR	GRADE	REINF	REINFORCED
BOT	BOTTOM	GRL	GRILLE	RET	RETAINING
BRG	BEARING	GRV	GRAVITY ROOF VENT	RHMS	ROUND HEAD MACHINE
BUR	BUILT-UP ROOFING	GWB	GYPSUM WALL BOARD	RHWS	ROUND HEAD WOOD
CPT	CARPET	GWT	GLAZED WALL TILE	RM	ROOM
CH BD	CHALKBOARD	GYP	GYPSUM	RO	ROUGH OPENING
CEM	CEMENT	HB	HOSE BIB	RWL	RAINWATER LEADER
CHAN	CHANNEL	HC	HANDICAPPED	SD	SOAP DISPENSER
CJ	CONSTRUCTION JOINT	HDWD	HARDWOOD	SECT	SECTION
CL	CENTER LINE	HMMS	HEX HEAD MACHINE SCREW	SFT	STRUCTURAL FACING TILE
CLG	CEILING	HM	HOLLOW METAL	SHR	SHOWER
CMU	CONCRETE MASONRY UNIT	HPT	HIGH POINT	SHT	SHEET
CMT	CERAMIC MOSAIC TILE	HNDRL	HANDRAIL	SIM	SIMILAR
CO	CLEAN OUT	HGT	HEIGHT	SMS	SHEET METAL SCREW
COL	COLUMN	HORIZ	HORIZONTAL	SND	SAN. NAPKIN DISPENSER
COMP	COMPRESSION, COMPACTED	HR	HOUR	SNR	SANITARY NAPKIN RECEPTACLE
CONC	CONCRETE	HVAC	HEATING, VENTILATION & AIR CONDITIONING	SP	SPACE
CONT	CONTINUOUS	ID	INSIDE DIAMETER	SPEC	SPECIFICATION
CONTR	CONTRACTOR	IF	INSIDE FACE	S SK	SERVICE SINK
CONV.	CONVECTOR	INSUL	INSULATION	SST	STAINLESS STEEL
DBL	DOUBLE	INSTL	INSTALLATION	STD	STANDARD
DET	DETAIL	INT	INTERIOR	STL	STEEL
DF	DRINKING FOUNTAIN	INV	INVERT	STRUC	STRUCTURAL
DIA	DIAMETER	JAN	JANITOR	SUSP	SUSPENDED
DIM	DIMENSION	JST	JOIST SND	T	TOP, TILE, TREAD
DISP	DISPENSER	JT	JOINT SND	TEMP	TEMPORARY
DN	DOWN	LAV	LAVATORY	TERR	TERRAZZO
DO	DITTO	LP	LOWPOINT	T&G	TONGUE & GROOVE
DR	DRAIN, DOOR	MAX	MAXIMUM	TH	THRESHOLD, THICK
DWG	DRAWING	MB	MARKER BOARD	TOD	TOP OF DECK
DS	DOWNSPOUT	MECH	MECHANICAL	TOJ	TOP OF JOIST
DWL	DOWEL	MFR	MANUFACTURER	TOS	TOP OF STEEL
EA	EACH	MH	MANHOLE	TPD	TOILET PAPER DISPENSER
EPDM	ETYLENE PROPYLENE DIENE MONOMER	MIN	MINIMUM, MINUTE	TR	TROWELED, TREAD
EF	EACH FACE	MIR	MIRROR	TS	TUBULAR STEEL
EL	ELEVATION	MISC	MISCELLANEOUS	TYP	TYPICAL
ELEC	ELECTRIC	MO	MASONRY OPENING	UGRD	UNDERGROUND
EQUIP	EQUIPMENT	MTL	METAL	UH	UNIT HEATER
EW	EACH WAY	MTD	MOUNTED	UNO	UNLESS NOTED OTHERWISE
EWV	ELECTRIC WATER COOLER	NIC	NOT IN CONTRACT	UR	URINAL
ELVR	ELEVATOR	NS	NEAR SIDE	VERT	VERTICAL
EXH	EXHAUST	OA	OVER ALL	VCT	VINYL COMP. TILE
EXST OR (E)	EXISTING	OC	ON CENTER	VWC	VINYL WALL COVERING
EXP JT	EXPANSION JOINT	OD	OUTSIDE DIAMETER	W/	WITH
EXT	EXTERIOR	OF.	OUTSIDE FACE	WC	WATER CLOSET / TOILET
FD	FLOOR DRAIN	OPNG	OPENING	WD	WOOD
FDN	FOUNDATION	PR	PAIR	WDW	WINDOW
FHMS	FLAT HEAD MACHINE SCREW	PNL	PANEL	WNSC	WAINSCOAT
FH	FIRE HYDRANT	PART	PARTITION	WO	WITHOUT
		P/C	PRECAST	WP	WORKING POINT
		PLAS	PLASTER		
		PL	PLATE		



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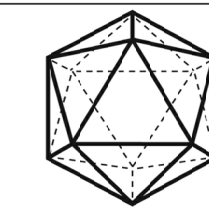
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DESIGNED: LH
DRAWN: LH
REVIEWED: LH

SYMBOLS AND ABBREVIATIONS

A0.1



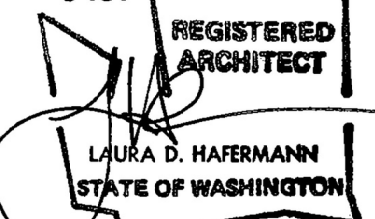
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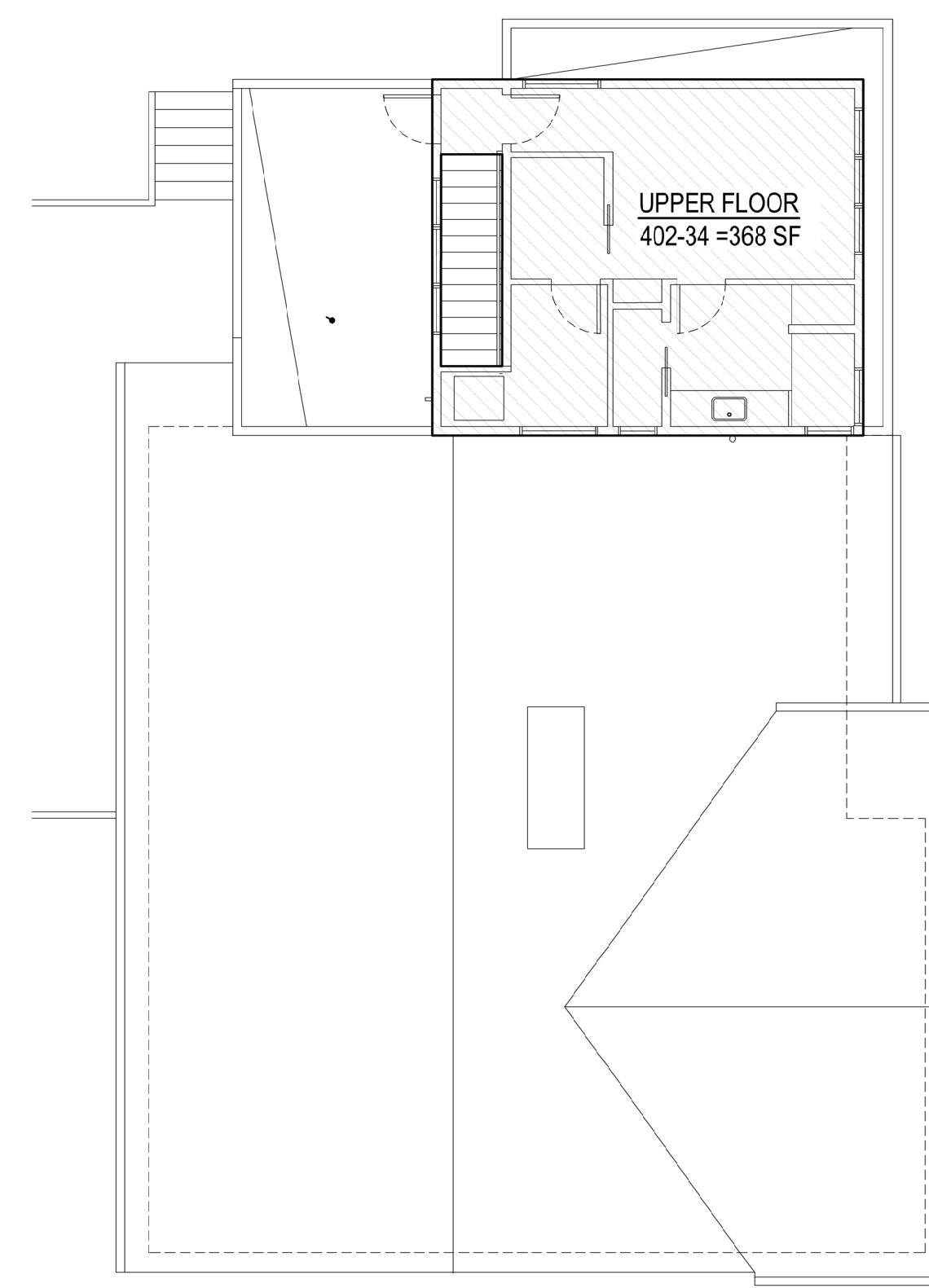
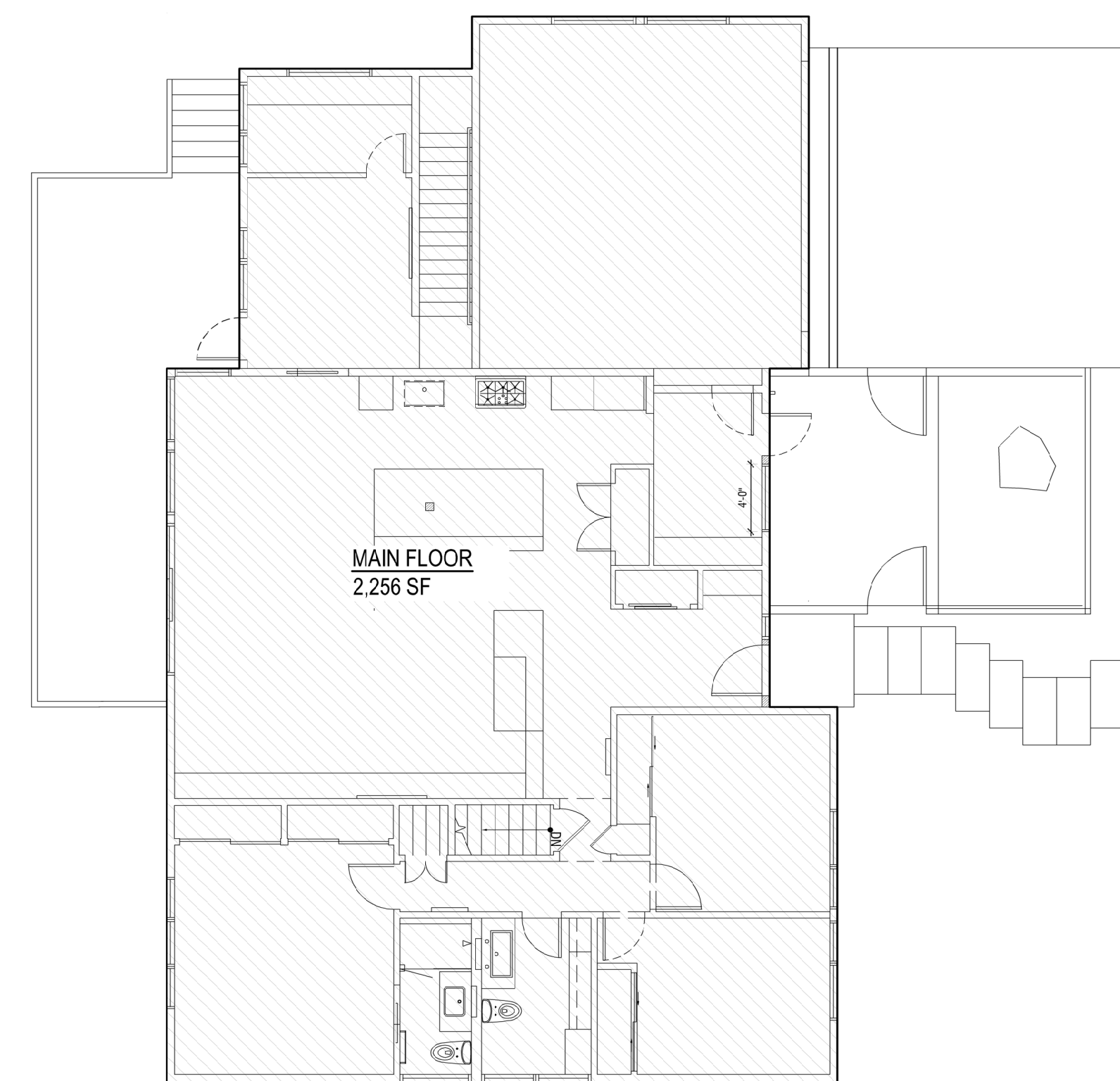
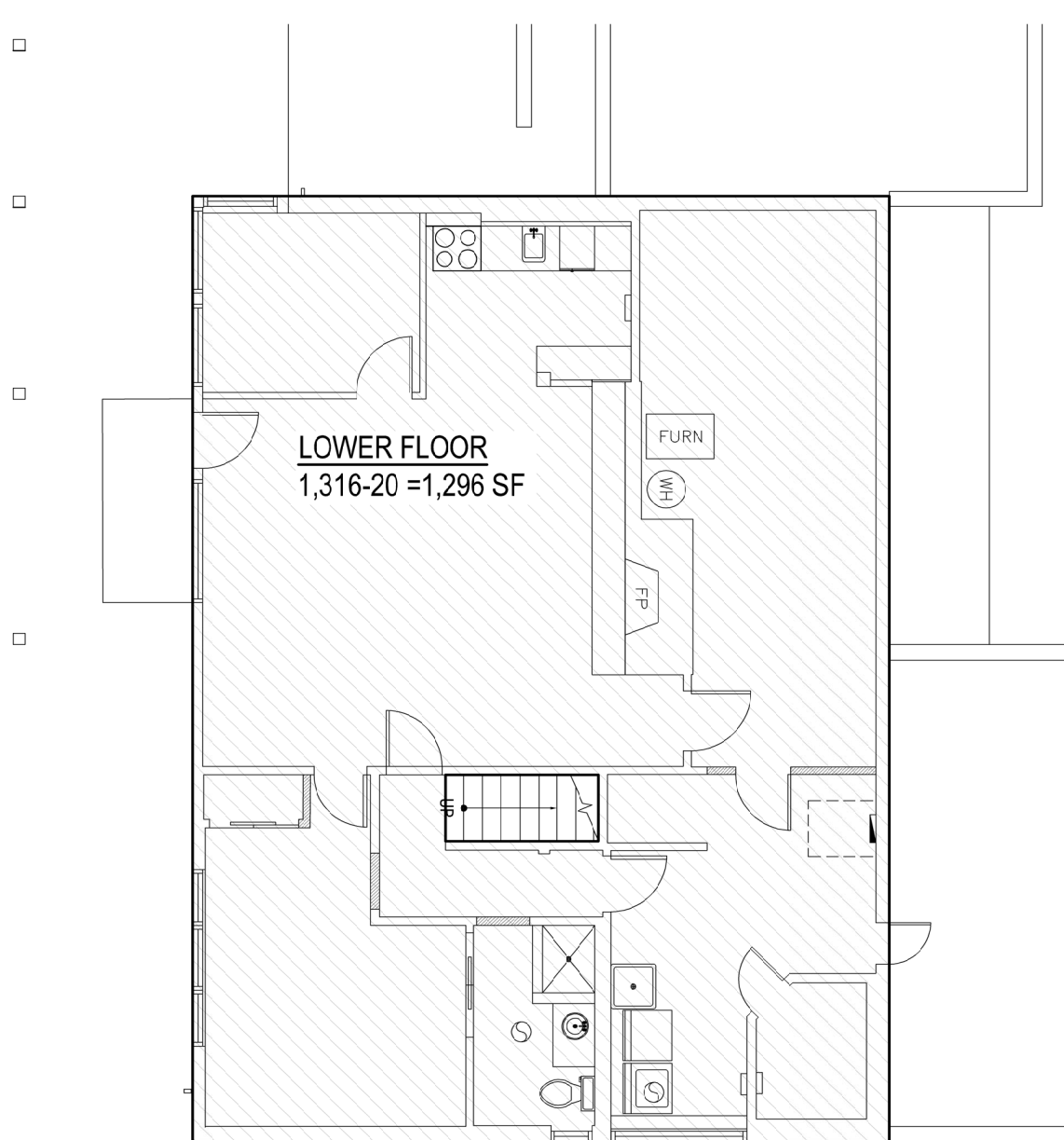
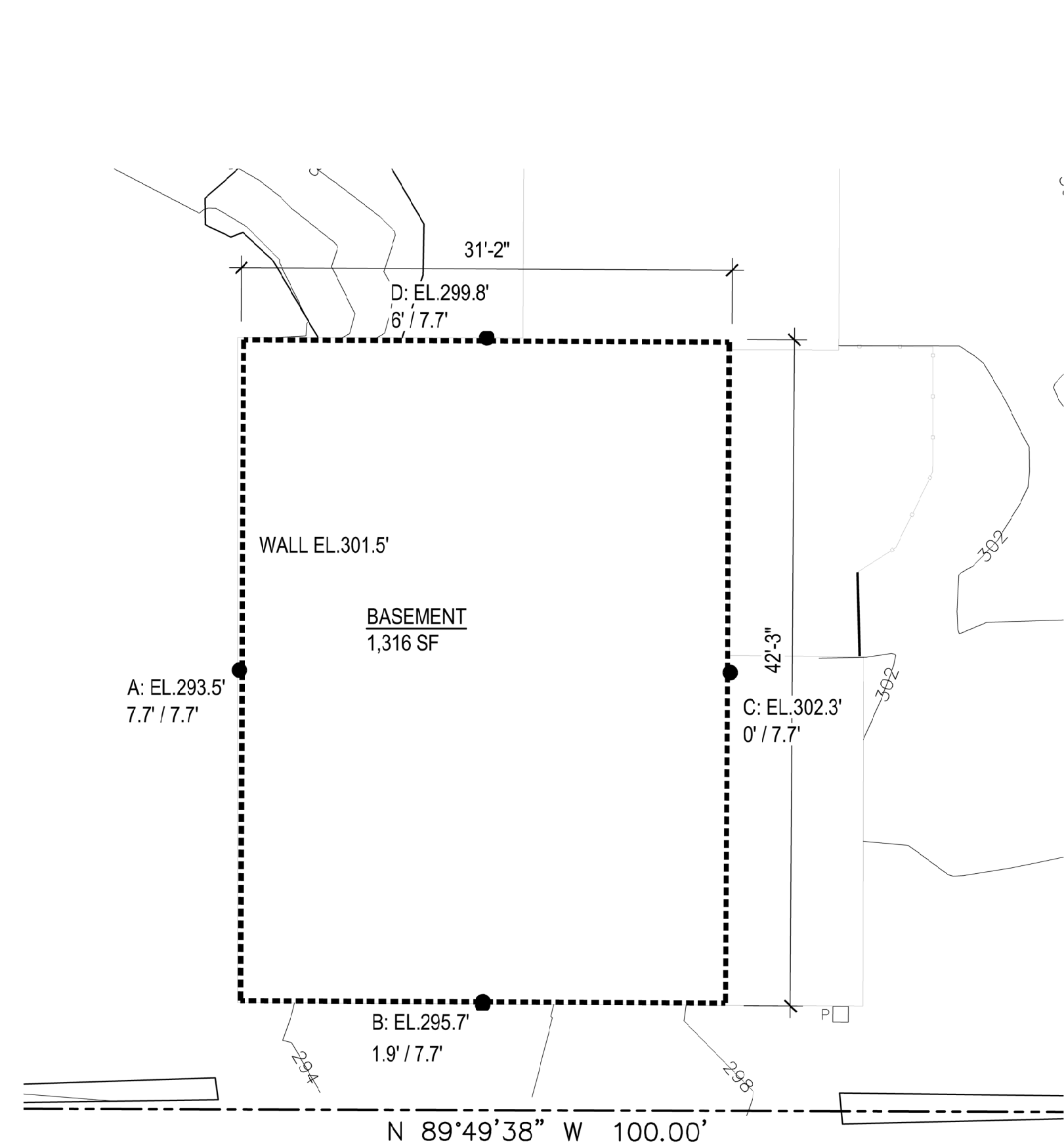
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REVIEWED: LH

ZONING CODE INFORMATION

A0.2



TOTAL OF WALL & COVERAGE			
WALL SEGMENT	LENGTH x	COVERAGE	RESULT
A	42.3'	100%	42.3'
B	31.2'	24.7%	7.7'
C	42.3'	0%	0'
D	31.2'	77.9%	24.3'
TOTAL	147'		74.3'

PERCENTAGE OF BASEMENT WALL BELOW GRADE 74.3/147=51%
AREA OF BASEMENT BELOW GRADE (EXCLUDED FROM GFA) 51% OF 1,296 SF = 661 SF

GROSS FLOOR AREA CALCULATIONS	
ALLOWABLE	40% OF LOT AREA (7,500) = 3,000 SF
	5% OF 7,500 = 375 SF INCREASE FOR ADU
TOTAL	3,375 SF
PROPOSED	(1,296-661) + 2,256 + 368 = 3,259 SF

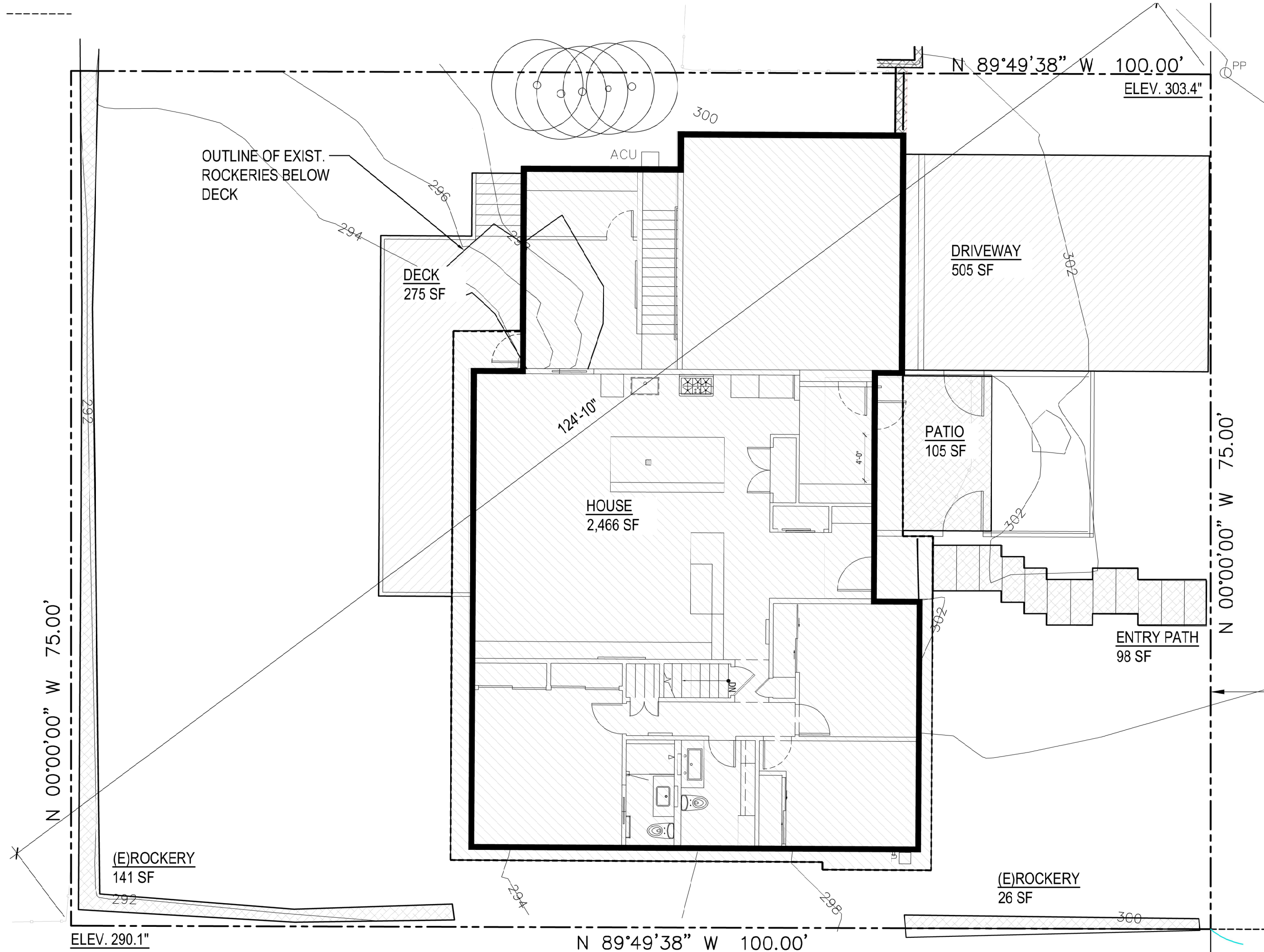
1 GROSS FLOOR AREA CALCULATIONS

SCALE: 1/8" = 1'-0"

LOT COVERAGE CALCULATIONS	
ALLOWABLE	40% OF LOT AREA (7,500) = 3,000 SF
PROPOSED	2,466 + 505 = 2,971 SF

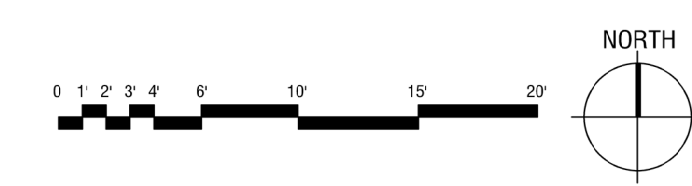
HARDSCAPE/LANDSCAPED AREA CALCULATIONS	
ALLOWABLE	60% OF LOT AREA (7,500) = 4,500 SF
	9% OF LOT AREA = 675 SF, 755 SF ADDITIONAL PER 19.02.020.3.b.i.a
PROPOSED	2,466+505+275+105+ 98+141+26= 3,616 SF

SLOPE CALCULATIONS	
HIGHEST ELEV. POINT	303.4'
LOWEST ELEV. POINT	209.1'
ELEV. DIFFERENCE	13.3'
HORIZ. DISTANCE	124.8'
SLOPE	10.7%



2 LOT COVERAGE CALCULATIONS

SCALE: 1/8" = 1'-0"

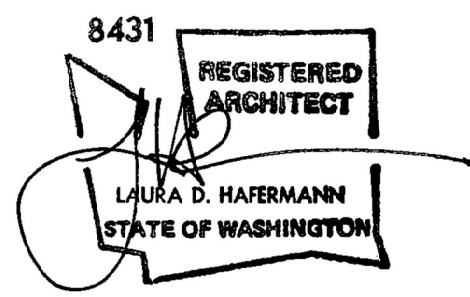


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MERCER IS, WA 98040

STRUCTURAL ENGINEER:
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2124 3RD AVE SUITE 100
SEATTLE WA 98121
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ECKELS
ANDERSEN
ADDITION

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PERMIT
SET

DATE: MAY, 2024
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REVISED SCOPE 12/15/23
OPTIONS 02/02/24
PERMIT 05/28/24

DESIGNED: LH
DRAWN: LH
REVIEWED: LH

ENERGY CODE
INFORMATION

A0.3

Project Information
Addition to existing single family residence

Contact Information
Salt Studio
Laura Hafemann
laura@salt-studio.net

Messages / Results *
Review required for custom entries - Flat/Vaulted Ceilings
UA Reduction = 0.06, Proposed UA is better than baseline by 0%
Vertical glazing area of proposed design exceeds 15% of floor area. Baseline window area set to 15% of floor area
Whole House Mechanical Ventilation Airflow Rate: 37.5 CFM with Run Time Percent of 100%, Balanced, Not Distributed
*Results assume you inputs are complete and correct. Results do not constitute an approval. Analysis should be reviewed by your AHJ.

ANALYSIS SET UP
What code compliance pathway are you using? U-Factor Compliance Path / Total UA Alternative
Project Building Type? Addition
Occupancy Type? R3 Single family homes and duplexes
Code Version? WSEC 2021 WSEC-R Rev: Oct. 2023, https://www.sbccc.gov/sites/default/files/2023-12/0
Classification: Small Dwelling Unit - 666 sq. ft.
Baseline Description: Code Baseline - Baseline and proposed window areas are equal.
About Your Selection: Up to 15 of exempt window and 24 of exempt door allowable

RESULTS - Comparison of Baseline and Proposed Design

Component Performance, R-Values	Baseline	Proposed Design
	U ¹ Area UA	U Area UA
Doors U =	0.300 17 5.0	0.300 17 5.0
Overhead Glazing U =	0.500 0 0.0	0 0 0.0
Vertical Glazing U =	0.300 100 30.0	0.262 141 37.0
Flat/Vaulted Ceilings U =	0.024 666 16.0	0.024 666 16.0
Wall (above grade) U =	0.054 1,191 62.1	0.054 1,150 62.1
Floors over Crawlspace U =	0.020 666 13.3	0.020 666 13.3
Slab on Grade F =	0.540 0 0.0	0 0 0.0
Below Grade Wall F =	N/A 0 0.0	0 0 0.0
Below Grade Slab F =	N/A 0 0.0	0 0 0.0
*Values from Table R402.1.2 (Oct 2023)		
Baseline UA Total	137.0	Proposed UA Total 136.9
Required Credits	5.0	Proposed Credits 5.0 from Tables 406.2 and 406.3
UA Reduction	0.1	UA Percent Reduction 0.0%
		UA Reduction 0.1

If the Proposed UA is the Target UA, and the Proposed Credits from Table 406 are at least those required in Section R406, then the home meets the WSEC.

Table R406.2 Energy Equalization Credits

System No.	Full Description	Select System Type	Fuel Normalization Credits (406.2)	Energy Credits (406.3)	Total Credits (406.2 & 406.3)
4	For heating system using a heat pump that meets federal standards for the equipment listed in Table C403.3.2(2) or Table C403.3.2(3) OR Air to Water heat pump units that are configured to provide both heating and cooling and are rated in accordance with AHRI 550/590	Variable Refrigerant Heat Pump or Air-to-Water Heat Pump	3.0	2.0	5.0

Table R406.3 Energy Credits

Option No.	Category	Select Options	Energy Credits	Brief Description of Selected Options*
1	Efficient Building Envelope			
2	Air Leakage Control and Efficient Ventilation			
3.1-3.10	High Efficiency HVAC	Option 3.7	2.0	Ductless Split System with no electric resistance in primary living areas. HSPF2 of 9 (HSPF of 10) except HSPF2 of 8.1 (HSPF of 9) if heating load is 24000 BTU/h or less.
3.11	High Efficiency HVAC: Smart Thermostat		0.0	
4	High Efficiency HVAC Distribution System		0.0	
5.1	Efficient Water Heating: Drain Heat Recovery		0.0	
5.2	Efficient Water Heating: Compact Hot Water Distribution		0.0	
5.3-5.8	Efficient Water Heating		0.0	
6	Renewable Electric Energy	kWh	0.0	
7	Appliance Package		0.0	
*Refer to WSEC 2015 Table R406.2 for complete option descriptions and requirements			Energy Credits 2.0	

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THERMAL ENVELOPE DETAILS - Proposed Design

Conditioned Floor Area of Addition, Proposed Design 666 sq. ft.
Classification: Small Dwelling Unit

Exterior Doors

Plan ID	Component Description	Ref.	U	Qt.	Width	Height	Area	UA
Exempt	Code Baseline, U=0.30	-	0.30	1	2	6	12	3.6
106 ex	Code Baseline, U=0.30	-	0.30	1	2	6	12	3.6
200	Code Baseline, U=0.30	-	0.30	1	2	6	12	3.6
Sum of Area and UA (excluding exempt door)								17 5.0
Exterior Doors Area Weighted U								0.300

Overhead Glazing

Plan ID	Component Description	Ref.	U	Qt.	Width	Height	Area	UA
Sum of Area and UA								0.0 0
Overhead Glazing Area Weighted U								0.000

Vertical Glazing Schedule

Plan ID	Component Description	Ref.	U	Qt.	Width	Height	Area	UA
Exempt	U=0.27	-	0.27	1	5	3	15.0	4.05
5	U=0.27	-	0.27	1	5	2	10.0	2.70
206.07	U=0.27	-	0.27	2	5.00	4	48.7	12.60
16	U=0.27	-	0.27	1	4	2	8.0	2.16
4.17	U=0.24 (2018 1.1)	Table 406.2	0.24	1	8	4	37.3	8.95
10	U=0.27	-	0.27	1	4	2	8.0	2.16
20 ex	U=0.27	-	0.27	1	4	2	8.0	2.16
21 ex	U=0.27	-	0.27	1	4	2	8.0	2.16
22 ex	U=0.27	-	0.27	1	4	2	8.0	2.16
14.23	U=0.27	-	0.27	1	7	4	31.3	8.44
11	U=0.27	-	0.27	1	7	4	31.3	8.44
12	U=0.27	-	0.27	1	7	4	31.3	8.44
Sum of Area and UA (excluding exempt window)								141.3 37.0
Vertical Glazing Area Weighted U								0.262
Vertical Glazing and Doors Area Weighted U								0.266

Flat/Vaulted Ceilings

Plan ID	Component Description	Ref.	U	Area	UA
Roof Deck	2" closed cell foam + 9.5" blown in blanket fiberglass	Custom	0.020	201	5.2
Roof	R38 batt vault vented 2x14 16cc (2018 Code Baseline)	10.7	0.027	405	10.9
Sum of Area and UA					666 16.0

Walls (Above Grade)

Plan ID	Component Description	Ref.	U	Area	UA
	R21 cavity+R0 foam INT 2X6W Lap (Code Baseline)	10.5	0.054	1,150	62
Sum of Area and UA					1,150 62

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Floor (over crawl or exterior)

Plan ID	Component Description	Ref.	U	Area	UA
	R38 vented Joist	10.3	0.020	201	7
	R38 vented Joist (2018 1.1, 2, 2018 1.3-1.5)	10.3	0.03	405	13
Sum of Area and UA					666 17

Slab on Grade (less than 2 feet below grade)

Plan ID	Component Description	Ref.	U	Area	UA
Sum of Perimeter and FP					0 0

Below Grade Walls and Slabs

Plan ID	Component Description	Slab Depth	Ref.	U	Area	UA	Slab F	Slab Perim	Slab UA	
Sum of Area, Length and UA										0 0.0 0 0 0

Links to Download Forms, Checklists and Other Resources

Compliance Certificate
Insulation Certificate for Residential New Construction
Duct Testing Affidavits

Existing Construction Affidavit, Existing New Construction Affidavit, New Construction Affidavit, New Construction Affidavit

Prescriptive Checklist for 2018 WSEC Alterations (Remodel) Worksheet
EER SEER2 COP HSPF2 Converter

Ventilation Requirements

Show Ventilation Calculator? Show

Conditioned Floor Area 666 sq. ft.
Number of Bedrooms 1
Run-Time Percent in Each 4-Hour Segment 100%
Is the system Balanced? Balanced Verify system meets derivation of 'Balanced Whole-House Ventilation'
Is the system Distributed? Not Distributed
Ventilation Code Section WEC, Chapter 15
Whole House Mechanical Ventilation Airflow Rate 38 CFM

HVAC Thermal Distribution System

Show Distribution System Calculator? Show

Download RS-33 (2018) https://www.energy.wa.gov/documents/default/21/Testing%20Standards%20RS-33.pdf

Is this a hydronic heating system? No
Location of Ducts Conditioned Space
Location of Air Handler Unconditioned
For Existing Construction: Are Any of These Exceptions True?
Are ducts systems documented to have been previously sealed as confirmed through field verification and diagnostic testing per RS-33? No
Is there less than 40 linear feet in unconditioned spaces? (not exempted under WSEC 2021) Yes
Are existing duct systems constructed, insulated or sealed with asbestos? No
Is the project an Addition less than 750 sf of conditioned floor area? Yes

Is Duct Testing Required? No
A maximum of 10 feet of return ducts and 5 feet of supply ducts are allowed to be located outside of the building thermal envelope, if insulated and sealed per R403.3.7

Heating System Sizing - Proposed Design

Try Our BetterBuildWV's HVAC Sizing Tool: https://betterbuildwv.com/resources/hvac-sizing-tool/

Nearest Weather Station Mercer Island
Indoor Design Temperature 70 F
Outdoor Design Temperature 25 F
Design Temperature Difference (ΔT) 45 F

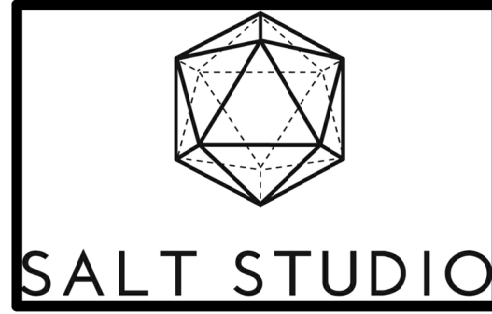
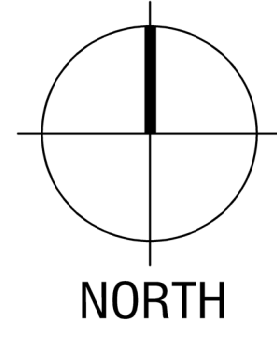
Conditioned Floor Area of Addition, Proposed Design 666 sq. ft.
Conditioned Volume 6,329 cu. ft.
Linear length to ceiling (at least of 8.5 ft. ceiling height)

HVAC System Type Heat Pump
Location of HVAC Distribution System Conditioned Space

Sum of UA, including exempt door and window 146

Envelope Heat Load Sum of UA x ΔT 6,569 [Btu / Hour]
Air Leakage Heat Load 2,589 [Btu / Hour]
Building Design Heat Load (Volume x ΔT x U x 1.1) 9,158 [Btu / Hour]
Building and Duct Heat Load 9,158 [Btu / Hour]
For ducts located in unconditioned space: Sum of Building Heat Loss x 1.1
For ducts located in conditioned space or ductless: Sum of Building Heat Loss x 1
Maximum Heat Equipment Output Building and Duct Heat Loss x 1.25 for heat pumps 11,448 [Btu / Hour]
Building and Duct Heat Loss x 1.45 for all other systems 3.4 kW

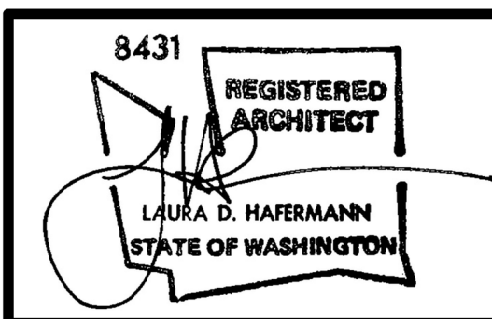
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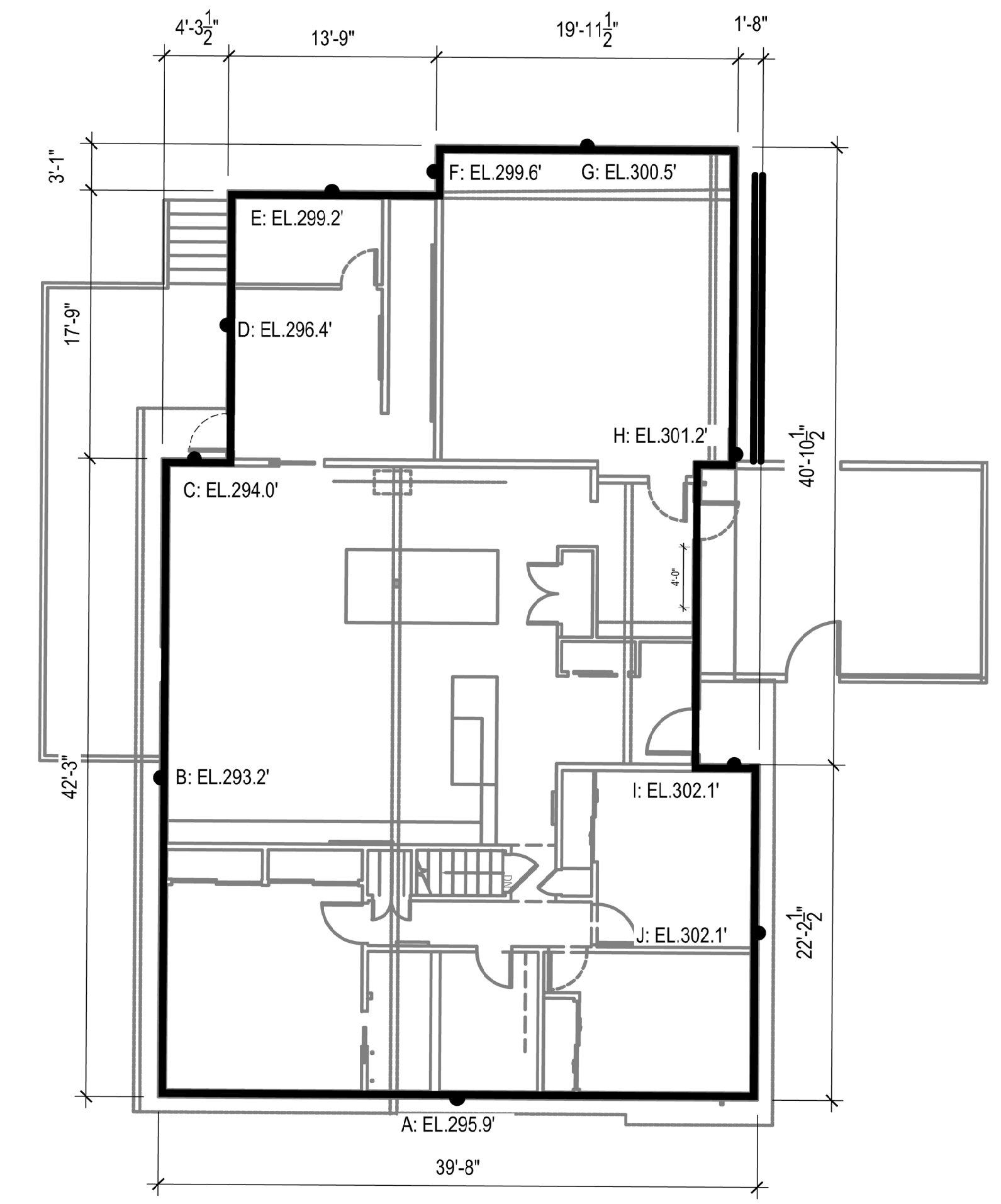
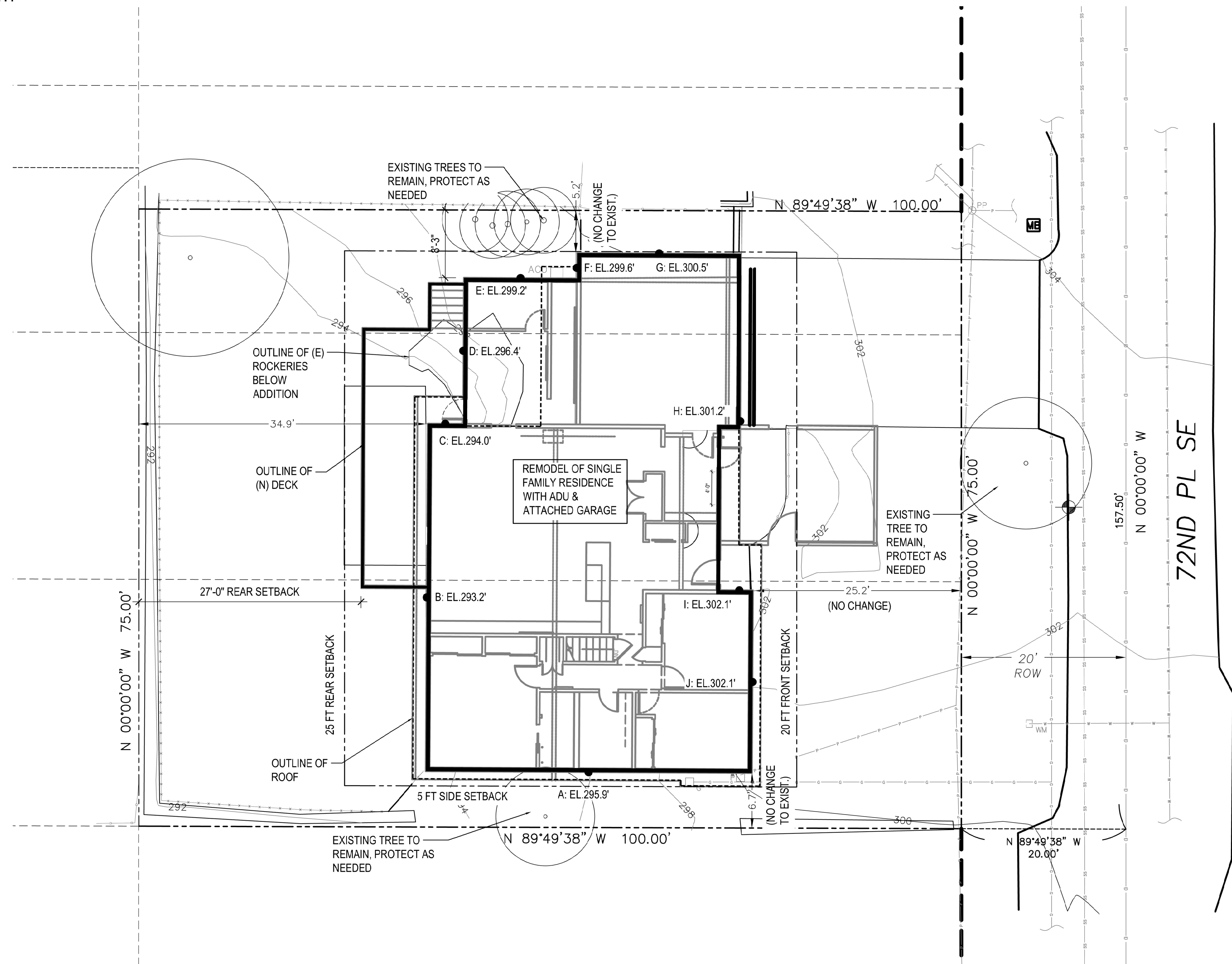
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OPTIONS 02/02/24
PERMIT 05/28/24

DESIGNED: LH
DRAWN: LH
REVIEWED: LH

SITE PLAN

A 1.0



1 SITE PLAN
SCALE: 1/8" = 1'-0"



GENERAL INFORMATION

ADDRESS 3413 72ND PL SE
MERCER ISLAND, WA 98040

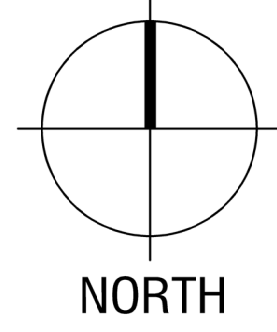
PARCEL No 130030-1360.

LEGAL DESCRIPTION: LOTS 4 AND 5 AND THE SOUTH 15 FEET OF LOT 3, BLOCK 5, C. C. CALKINS FIRST ADDITION TO EAST SEATTLE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 4 OF PLATS, PAGE(S) 88, RECORDS OF KING COUNTY, WASHINGTON.
SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON.

OWNERS JANE ESKELS AND HANS ANDERSON

AVERAGE BUILDING ELEVATION			
WALL SEGMENT	MIDPOINT ELEVATION	WALL SEG. LEGTH	PRODUCT
A	295.9	39.7	11,747.2
B	293.2	42.3	12,402.4
C	294.0	4.3	1,264.2
D	296.4	17.8	5,275.9
E	299.2	13.8	4,129.0
F	299.6	3.1	928.8
G	300.5	19.9	5,980.0
H	301.2	40.9	12,319.1
I	302.1	1.7	513.6
J	302.1	22.2	6,706.6
TOTAL		205.7	61266.8
ABE			EL. 297.8'
ALLOWABLE HEIGHT			EL. 327.8'
PROPOSED HEIGHT			EL. 322.8'

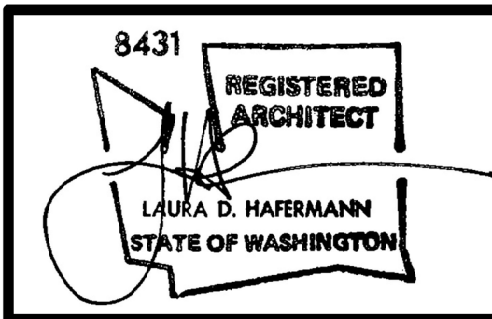
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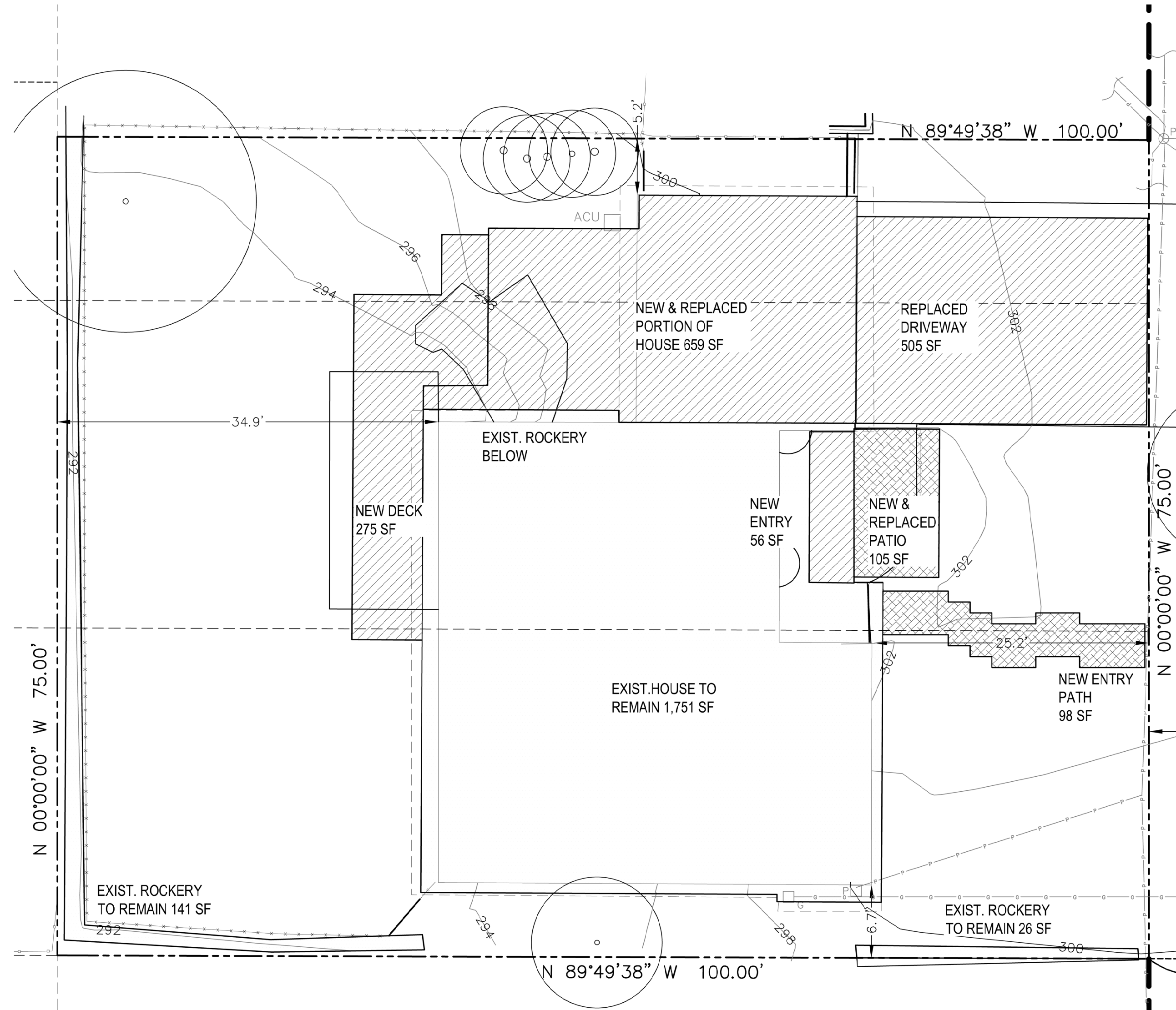
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REVIEWED: LH

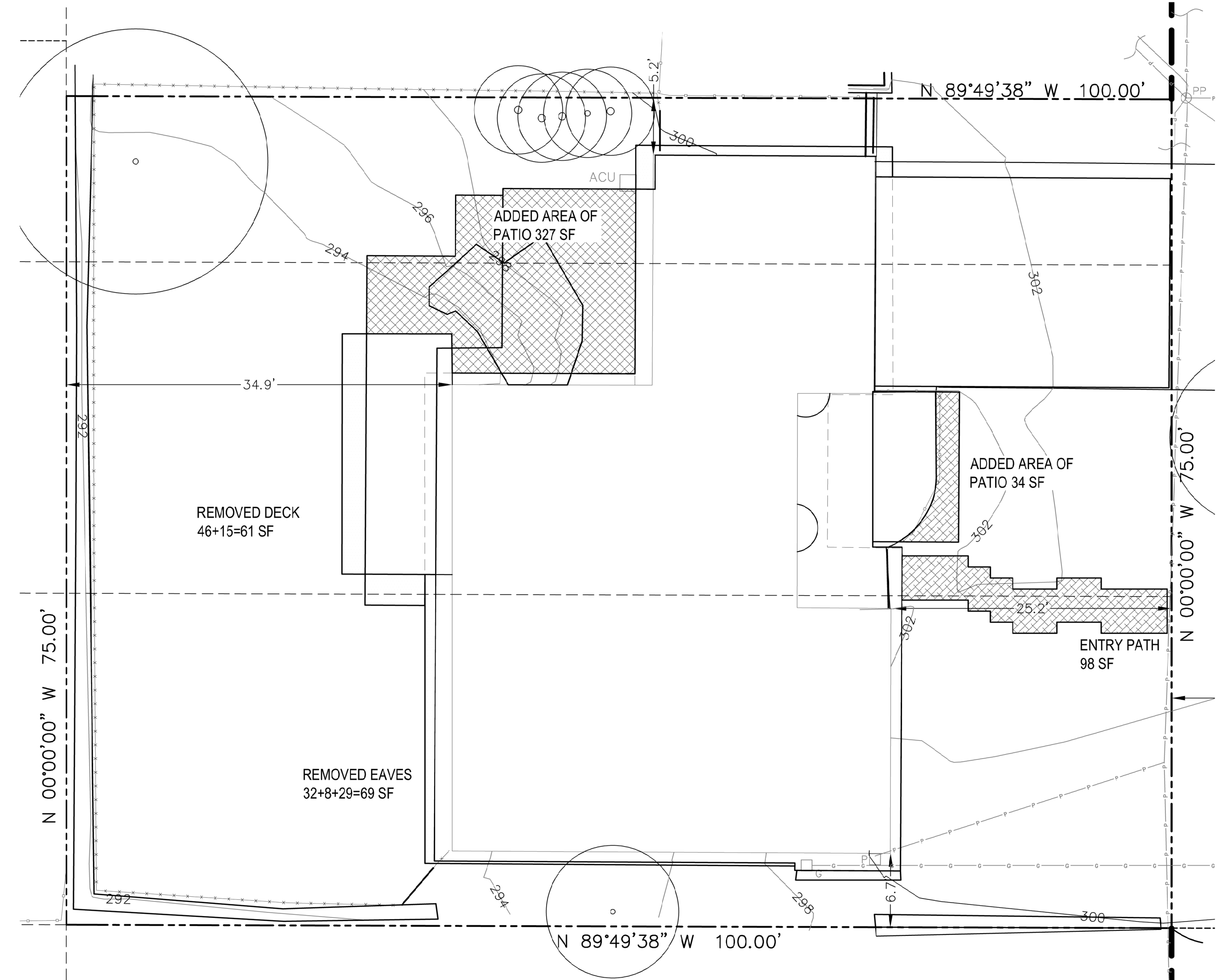
SITE PLAN

A 1.1



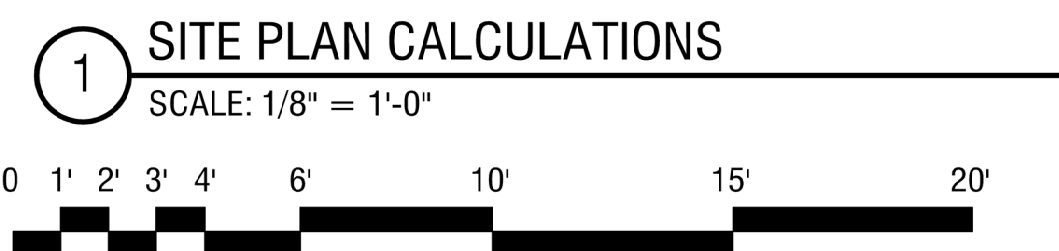
HARDSCAPE CALCULATIONS

NEW OR REPLACED 659+275+56+505+105+98=1,698 SF LESS THAN 2,000 SF
EXISTING TO REMAIN 1,751+141+26=1,918 SF



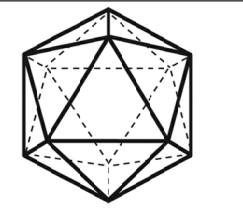
IMPERVIOUS CALCULATIONS

ADDED AREAS 327+98+34=459 SF
REMOVED AREAS 61+69=130 SF
TOTAL NEW 329 SF LESS THAN 500 SF



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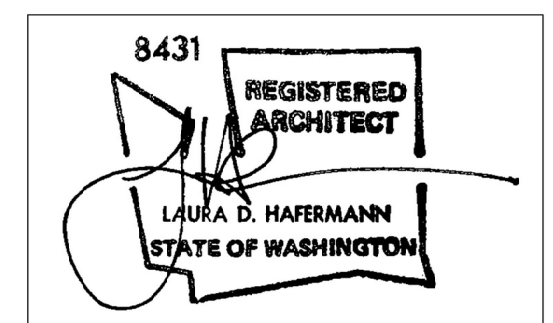


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ECKELS ANDERSEN ADDITION

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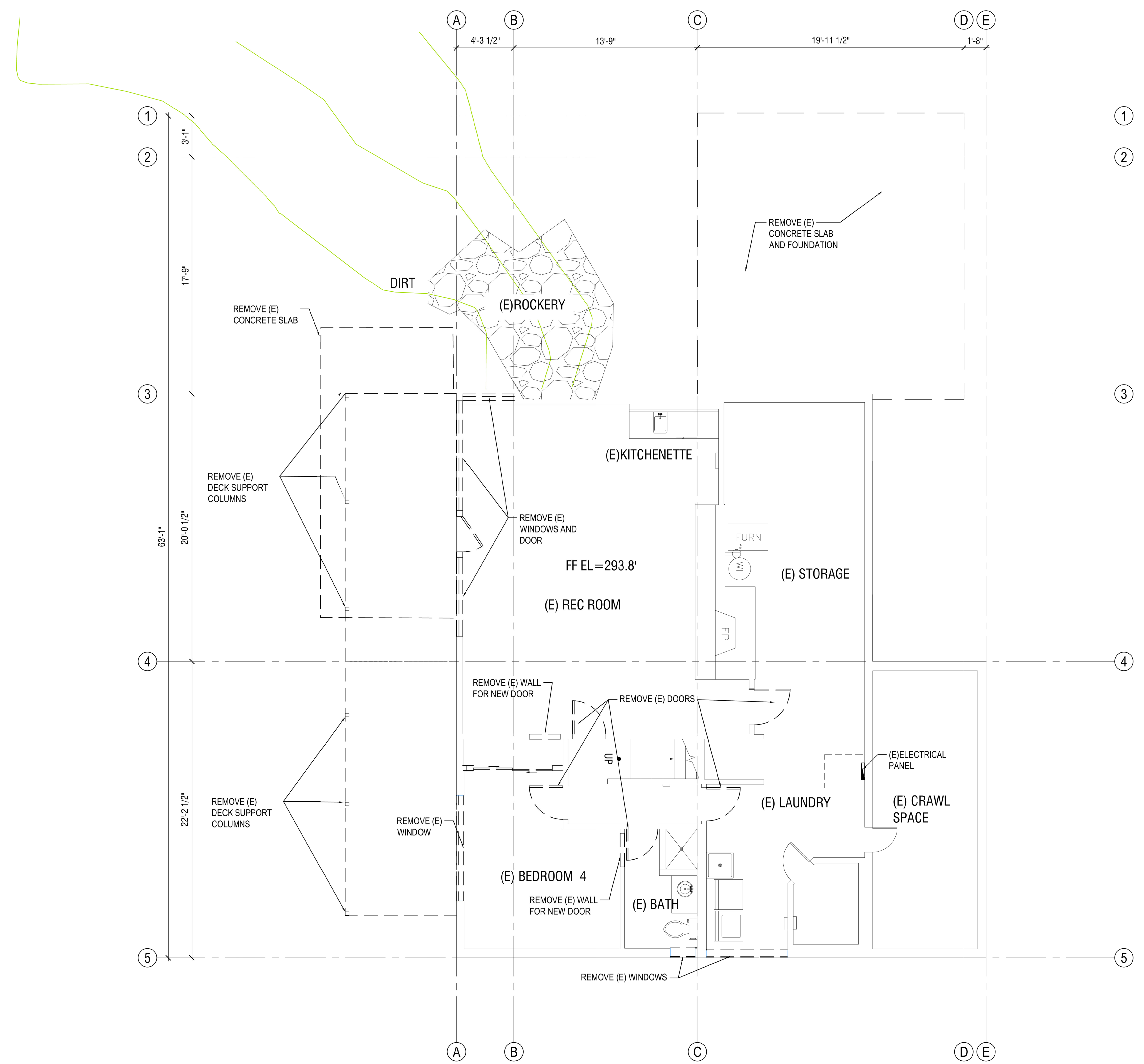
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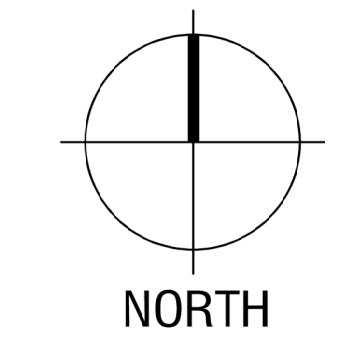
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LOWER LEVEL DEMO PLAN

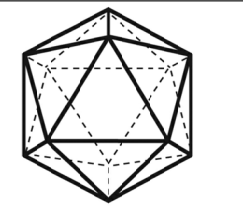
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1 LOWER LEVEL DEMO PLAN
SCALE: 1/4" = 1'-0"



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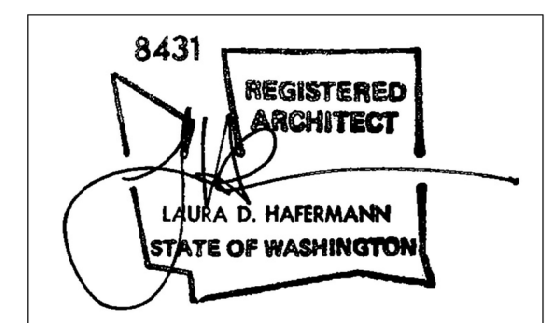


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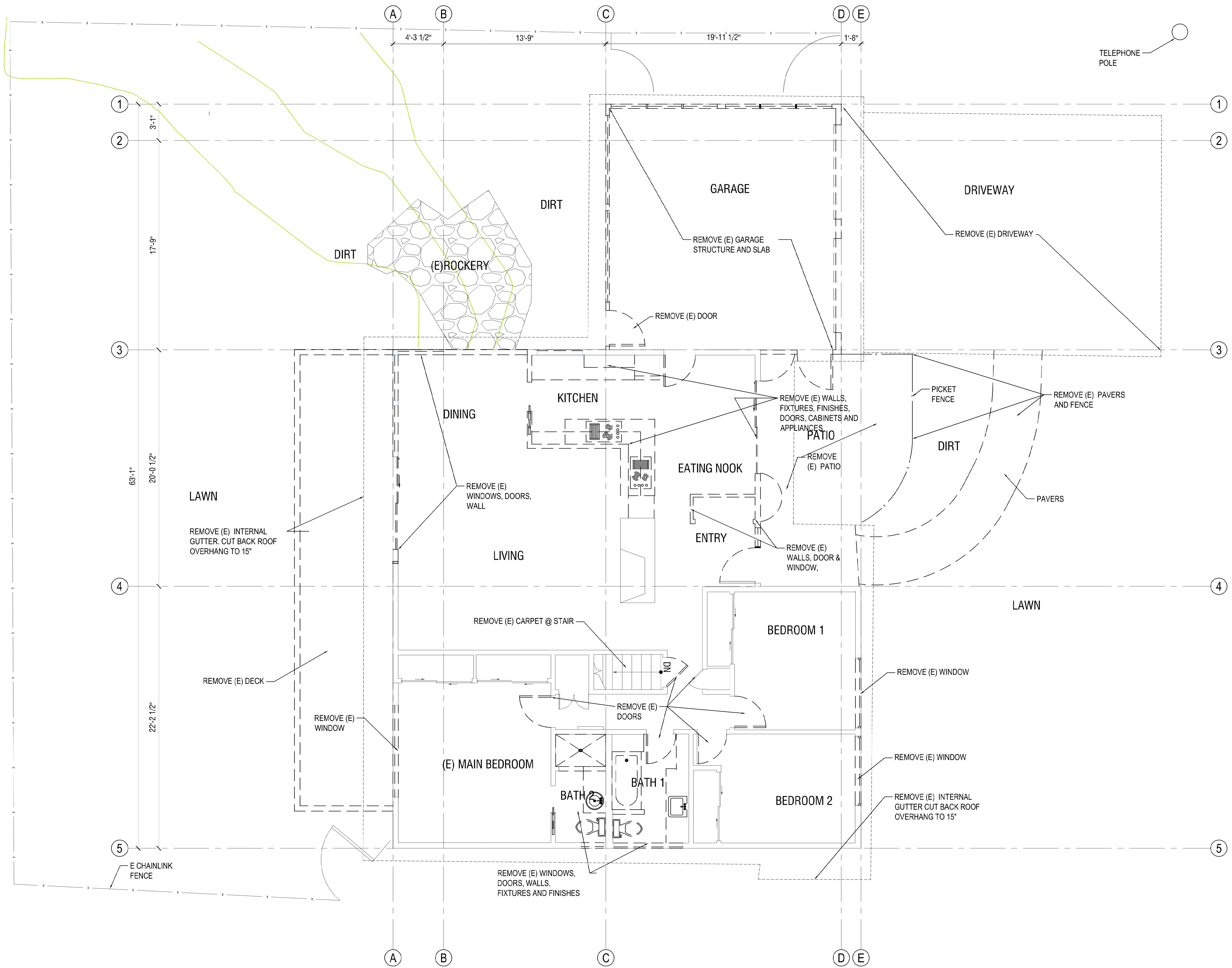
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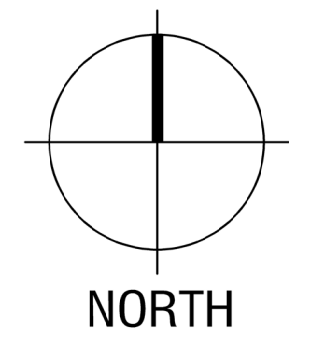
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DRAWN: LH
REVIEWED: LH

MAIN LEVEL DEMO PLAN

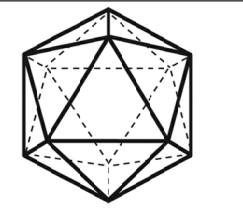
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1 MAIN LEVEL DEMO PLAN
SCALE: 1/4" = 1'-0"



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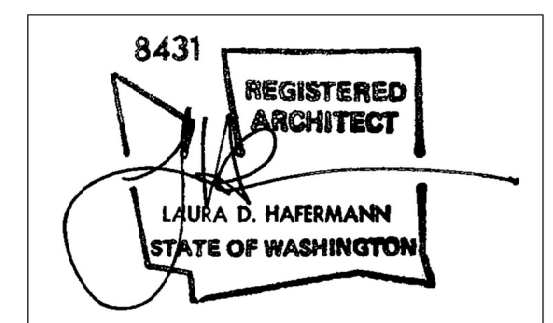


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DESIGNED: LH
DRAWN: LH
REVIEWED: LH

LOWER LEVEL FLOOR PLAN

A2.0

VENTS
EXHAUST AIR SHALL VENT DIRECTLY TO THE EXTERIOR OF THE BUILDING AND NOT IN ATTICS, SOFFITS, RIDGE VENTS, OR CRAWL SPACES. AIR EXHAUST OPENINGS SHALL TERMINATE NOT LESS THAN 3 FT FROM PROPERTY LINES; 3 FT FROM OPENINGS INTO BUILDING AND 10 FT FROM MECHANICAL AIR INTAKES, EXCEPT WHERE OPENING IS LOCATED 3FT ABOVE AIR INTAKE.

FIREPLACE
FACTORY-BUILT FIREPLACE SHALL BE LISTED, LABELED, TESTED IN ACCORDANCE WITH UL 127, AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS.

HANDRAIL IRC R311.7.8
• HEIGHT: 34-38 INCHES ABOVE STAIR NOSING.
• CONTINUITY: CONTINUOUS FOR FULL LENGTH OF FLIGHT. HANDRAIL SHALL BE RETURNED OR SHALL TERMINATE IN A NEWEL POST OR SAFETY TERMINAL.
• GRIP-SIZE: BETWEEN 1-1/4 AND 2 INCHES.
• WHERE USED AS A GUARDRAIL, A MAXIMUM OPENING SHALL BE 4 INCHES.

(SD) SMOKE ALARMS
IRC SECTION R314. A SMOKE ALARM LISTED AND LABELED IN ACCORDANCE WITH UL217 SHALL BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE EACH SLEEPING ROOM, ON EACH STORY OF THE DWELLING (INCLUDING BASEMENTS BUT EXCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS), AND NOT LESS THAN 3 FT HORIZONTALLY FROM DOOR OF BATHROOM THAT CONTAINS A BATH-TUB OR SHOWER. SMOKE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT.

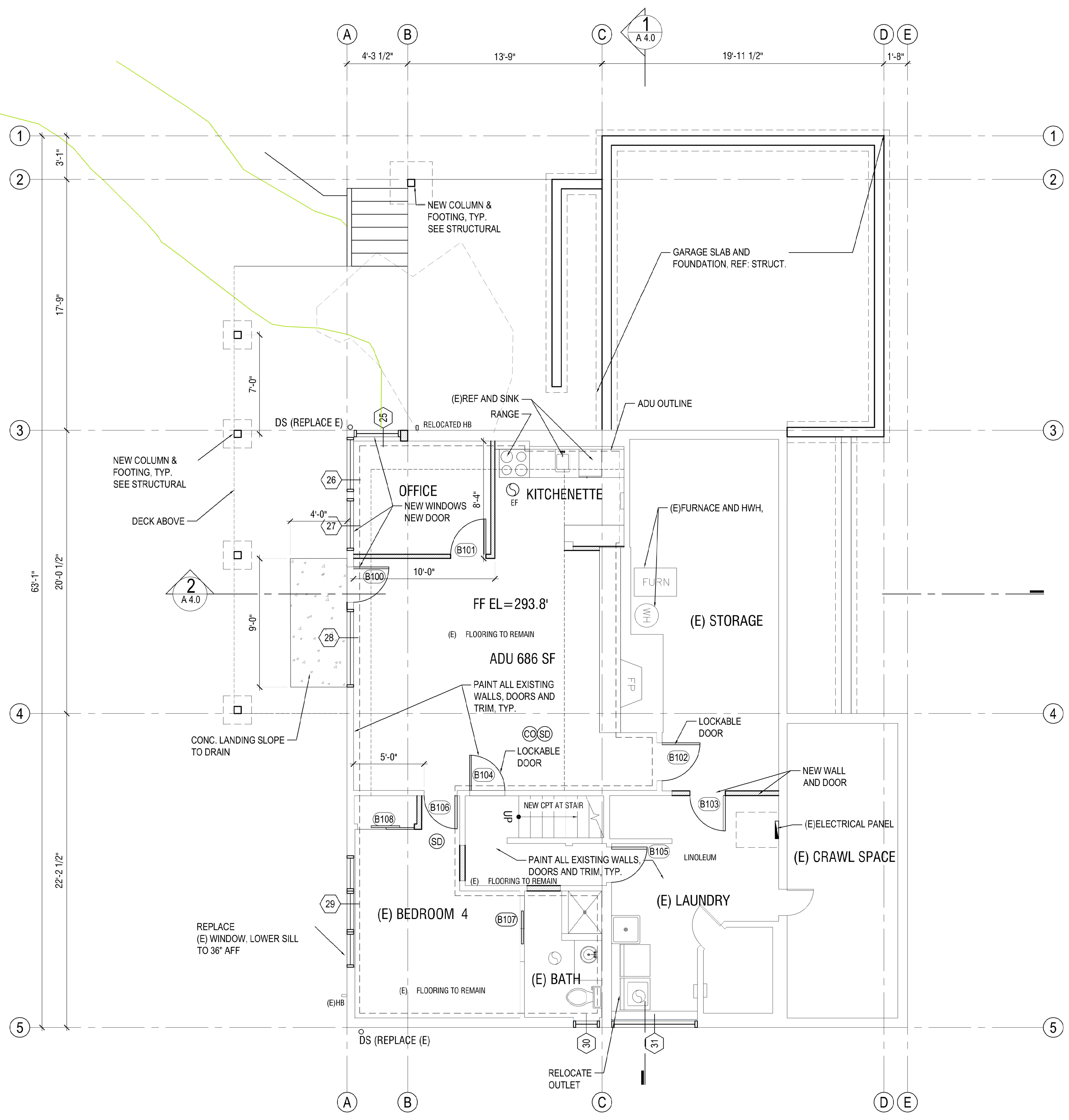
(CO) CARBON MONOXIDE ALARMS
AN APPROVED CARBON MONOXIDE ALARM LISTED WITH UL 2034 SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM AND ON EACH FLOOR OF THE DWELLING UNIT.

(H) HEAT DETECTORS AND HEAT ALARMS

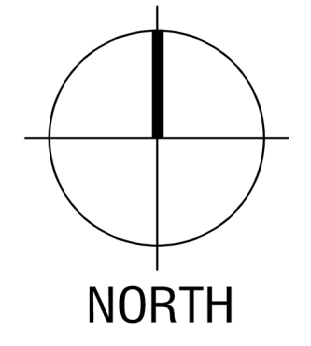
(S) EXHAUST FAN

ANCHORAGE OF APPLIANCES
APPLIANCES DESIGNED TO BE FIXED IN POSITION SHALL BE FASTENED OR ANCHORED IN APPROVED MANNER. THERMAL STORAGE UNITS SHALL BE ANCHORED OR STRAPPED TO RESIST HORIZONTAL DISPLACEMENT CAUSED BY EARTHQUAKE IN ACCORDANCE TO THE FOLLOWING:
1. ANCHORAGE AND STRAPPING SHALL BE DESIGNED TO RESIST A HORIZONTAL FORCE EQUAL TO 1/3 OF OPERATION WEIGHT OF WATER.
2. ANCHORAGE OF STRAPPING SHALL BE IN ACCORDANCE WITH APPLIANCE MANUFACTURER'S RECOMMENDATIONS.

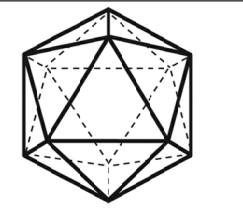
WATER HEATERS SHALL BE ANCHORED OR STRAPPED TO RESIST HORIZONTAL DISPLACEMENT DUE TO EARTHQUAKE MOTION. STRAPPING SHALL BE AT POINTS WITHIN UPPER 1/3 AND LOWER 1/3 OF ITS VERTICAL DIMENSIONS. AT THE LOWER POINT, A DISTANCE OF NOT LESS THAN 4" SHALL BE MAINTAINED FROM CONTROLS WITH STRAPPING.



1 LOWER LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"



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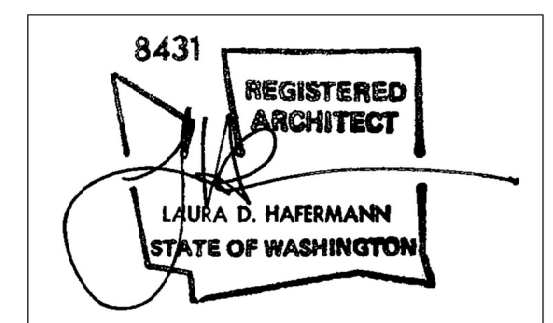


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MERCER IS, WA 98040

STRUCTURAL ENGINEER:
SWENSON SAY FAGET
2124 3RD AVE SUITE 100
SEATTLE WA 98121
(206)443-6212



ECKELS ANDERSEN ADDITION

3413 72ND PL SE
MERCER IS, WA 98040

PERMIT SET

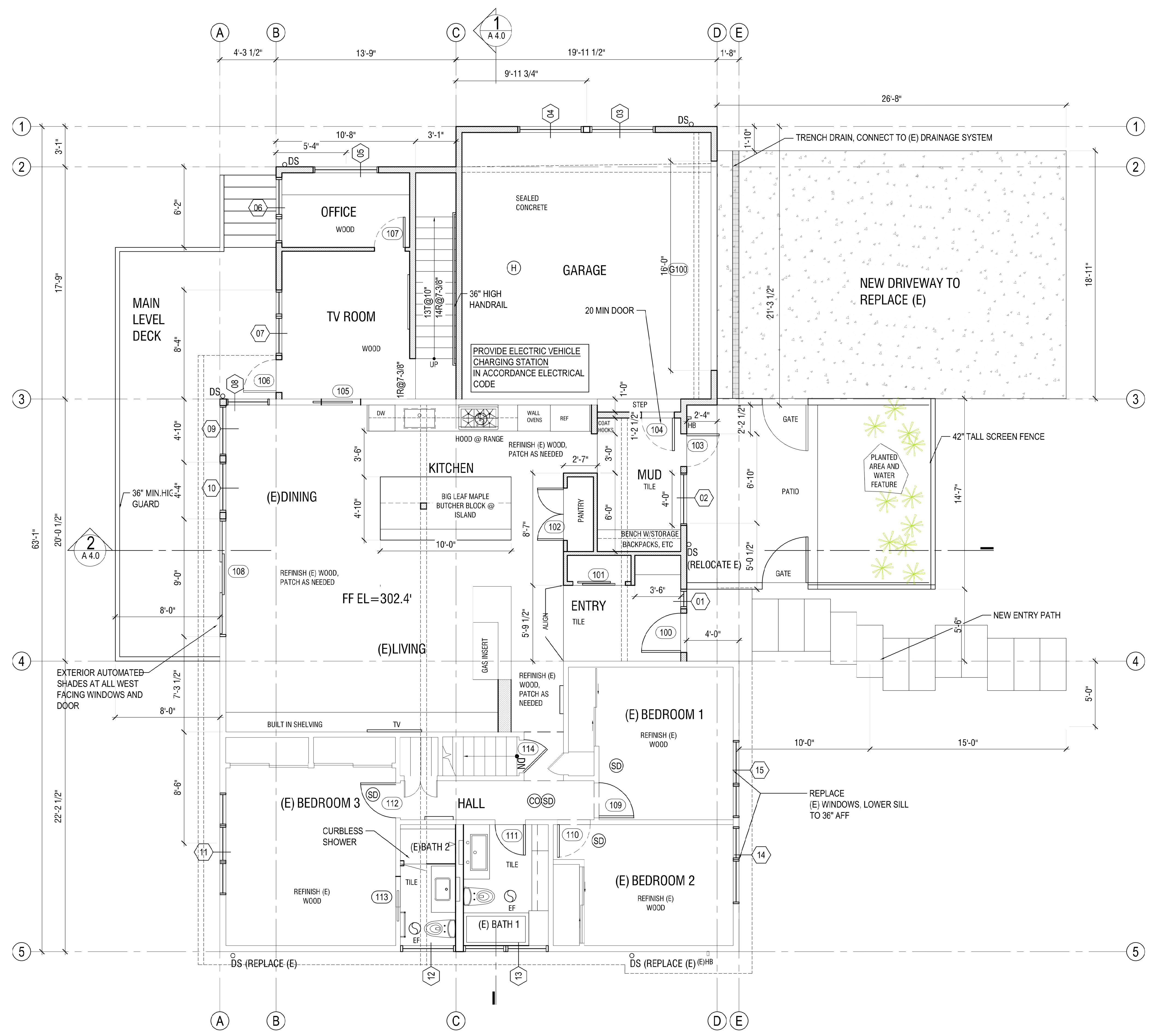
DATE: MAY, 2024
PROJECT#: 157
SCALE: AS NOTED

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- PRELIM. PRICING 05/01/23
- REV 1 10/23/23
- REVISED SCOPE 12/15/23
- OPTIONS 02/02/24
- PERMIT 05/28/24

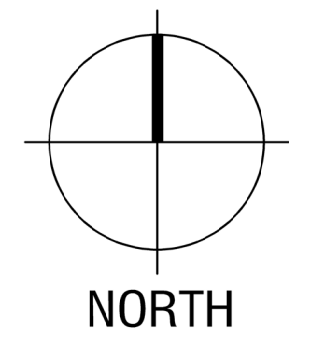
DESIGNED: LH
DRAWN: LH
REVIEWED: LH

MAIN LEVEL FLOOR PLAN

A2.1

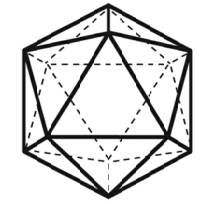


1 MAIN LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"



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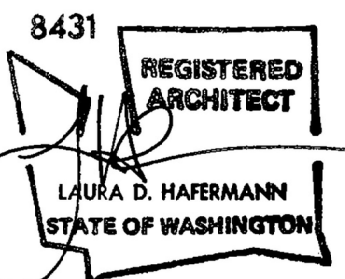


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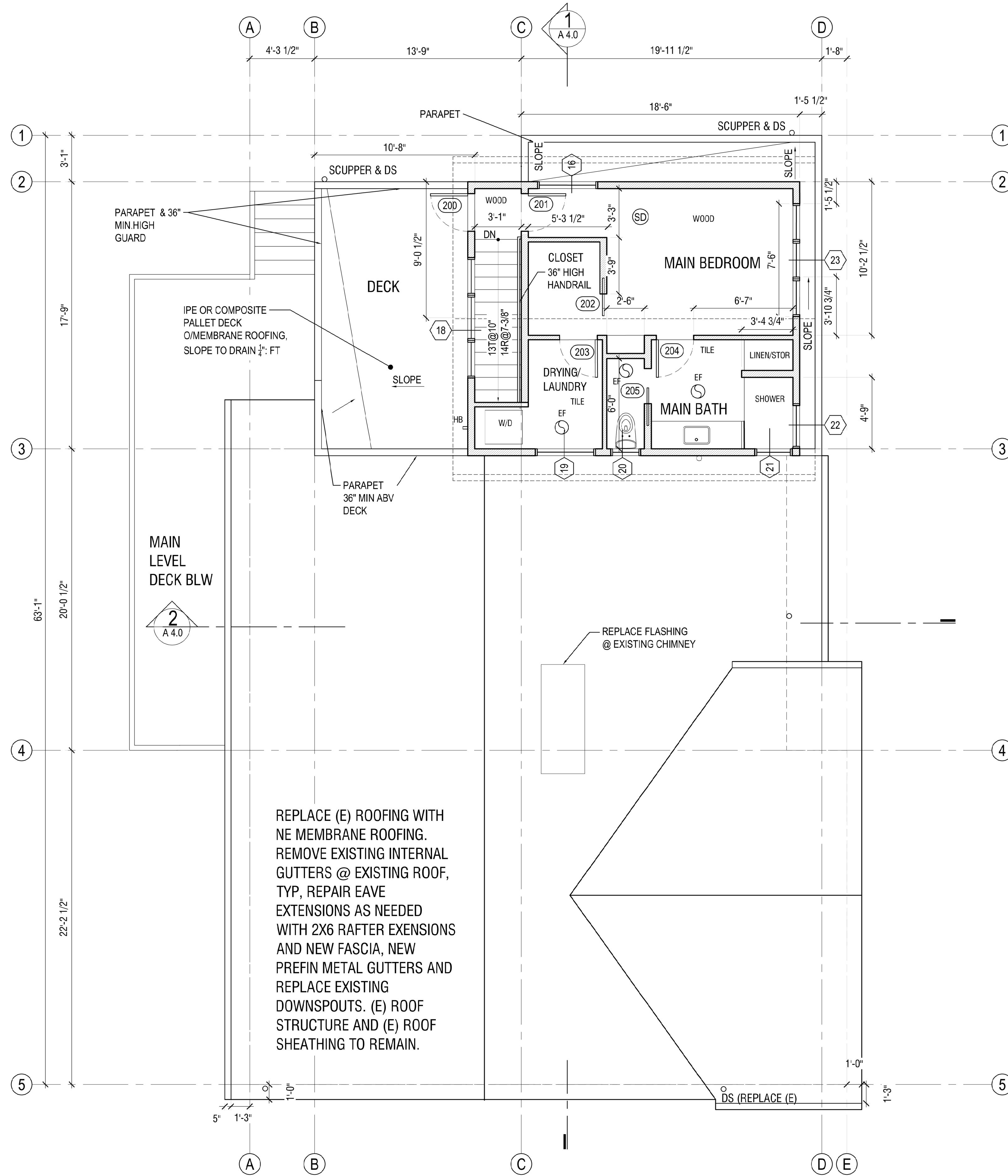
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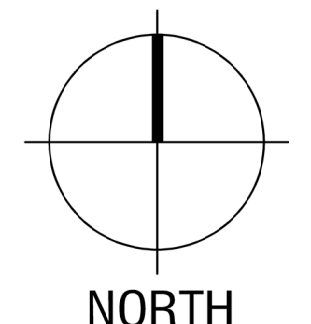
DESIGNED: LH
DRAWN: LH
REVIEWED: LH

UPPER LEVEL FLOOR PLAN

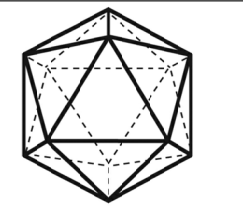
A2.2



1 UPPER LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"



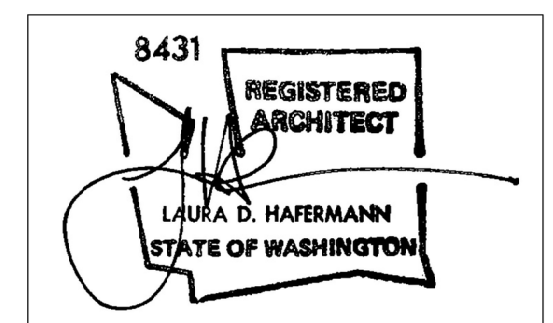
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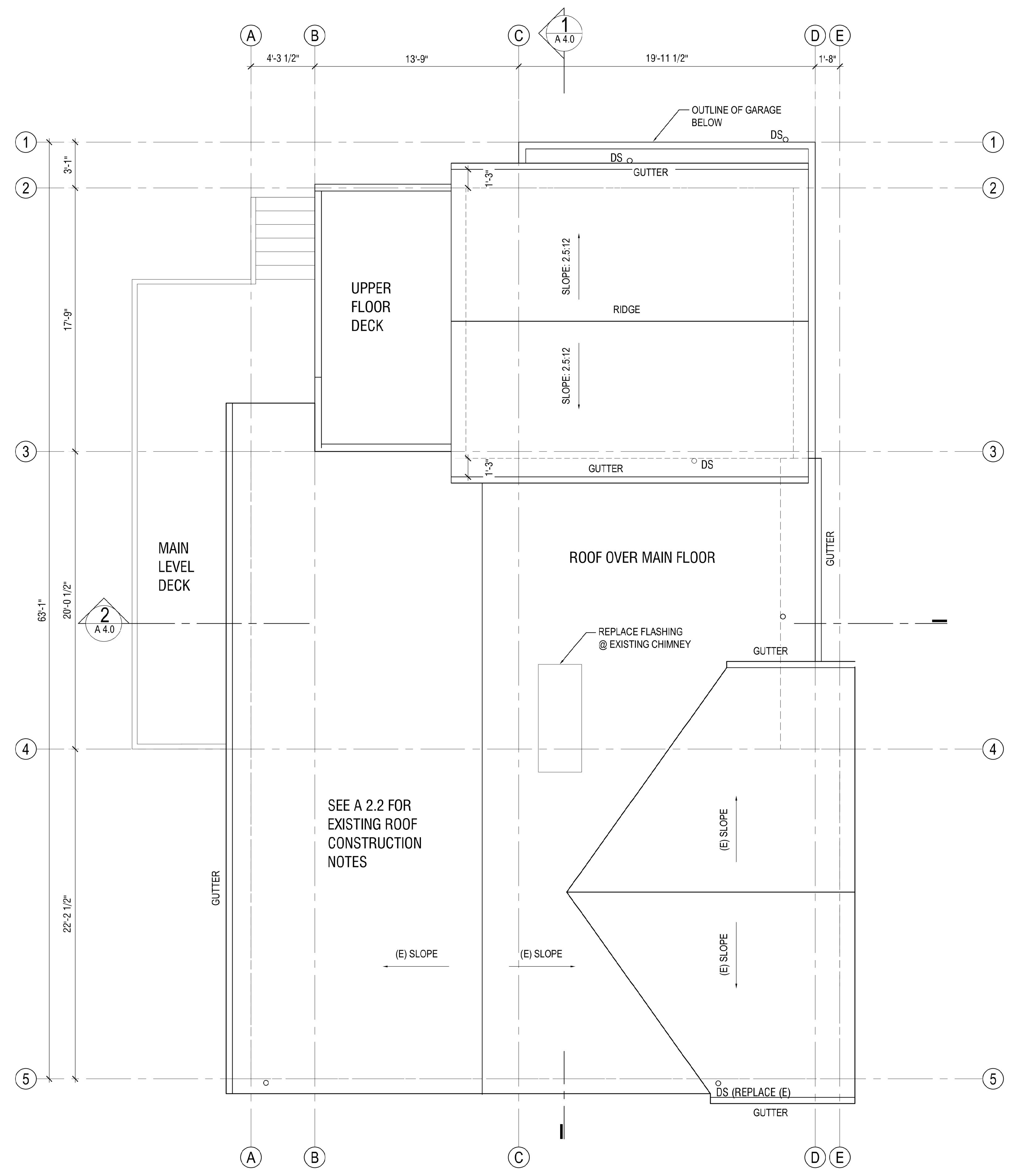
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PERMIT 05/28/24

DESIGNED: LH
DRAWN: LH
REVIEWED: LH

ROOF PLAN

A2.3

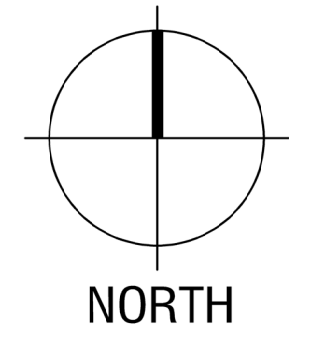


ROOF VENTILATION OVER ROOF DECK
IN LIEU OF VENTILATION PROVIDE SPRAYED OF ICYNENE PROCEAL (ICC ESR-3500), AIR IMPERMEABLE INSULATION ACHIEVING R19 INSULATION IMMEDIATELY BELOW ROOF SHEATHING. FILL REMAINING PORTION OF CAVITY W/ R19 FIBERGLASS INSULATION TO ACHIEVE R38 IN CAVITY.
A COPY OF THE ICC-ES REPORT FOR THE INSULATION PRODUCT MUST BE PROVIDED ON SITE FOR THE FILED INSPECTOR.
THE APPLIED SPRAY FOAM MUST BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS BY A CERTIFIED INSTALLER

ATTIC VENTILATION
ENCLOSED ATTICS AND RAFTER SPACES SHALL HAVE CROSS VENTILATION. FOR EACH SEPARATE SPACE, THE TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1 TO 150 OF THE AREA OF THE SPACE VENTILATED, THE TOTAL AREA IS PERMITTED TO BE REDUCED TO 1 TO 300, PROVIDED AT LEAST 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NO MORE THAN 3 FT. BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY, WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS. WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION MORE THAN 3 FT. BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE SHALL BE PERMITTED. VENT OPENINGS SHALL BE PROVIDED WITH CORROSION RESISTANT WIRE MESH WITH 1/8" MINIMUM TO 1/2" MAXIMUM OPENINGS. A MINIMUM OF A 1-INCH AIRSPACE MUST BE MAINTAINED BETWEEN THE INSULATION AND THE ROOF SHEATHING AT THE LOCATIONS OF THE VENTS.

NET FREE VENT AREA 365 SF / 150 = 2.43 SQ.FT
19 FT x 3' = 4.75 SQ. FT EAVE AND RIDGE VENT

1 ROOF PLAN
SCALE: 1/4" = 1'-0"



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**ECKELS
ANDERSEN
ADDITION**

3413 72ND PL SE
MERCER IS, WA 98040

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SET**

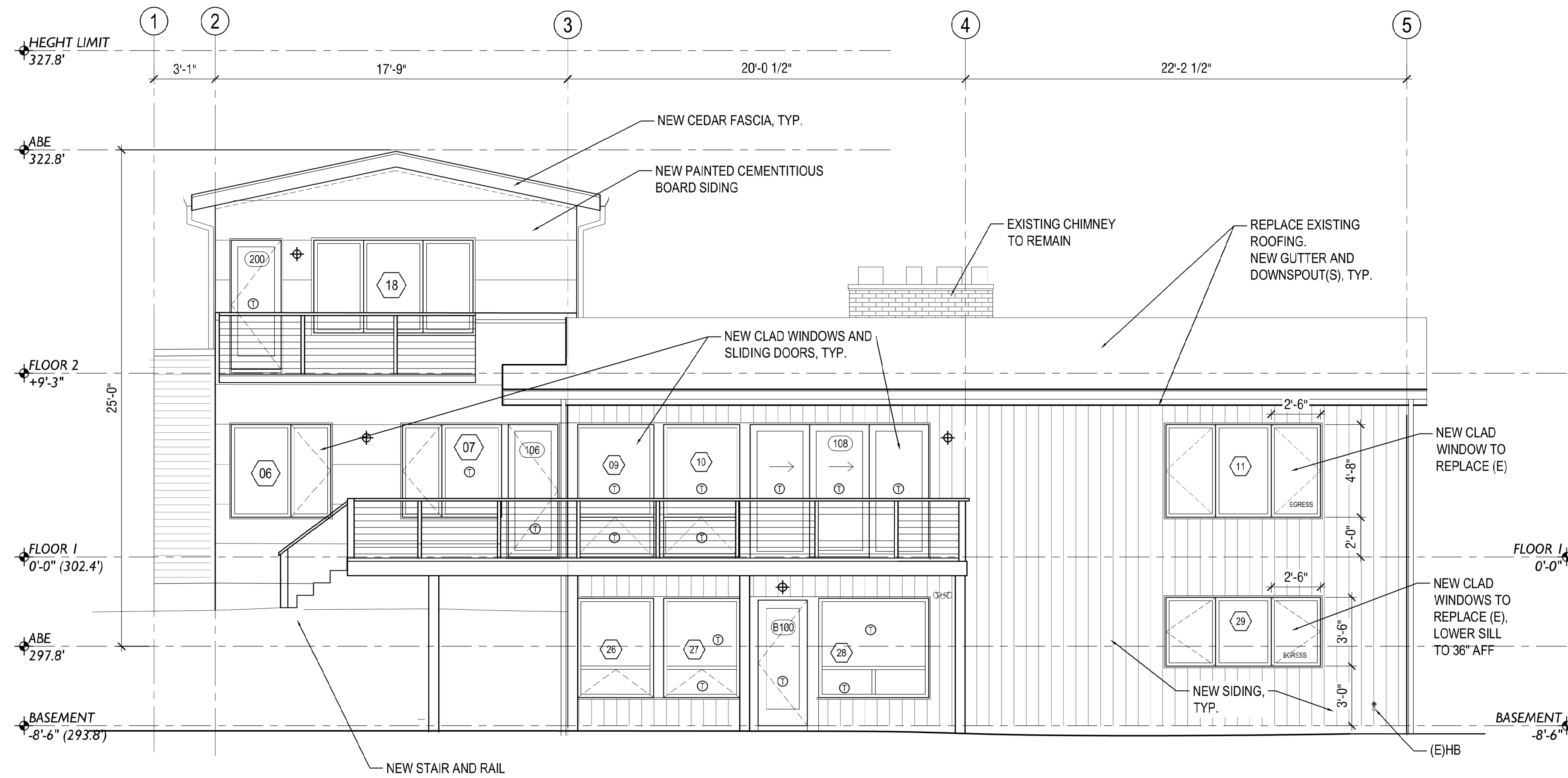
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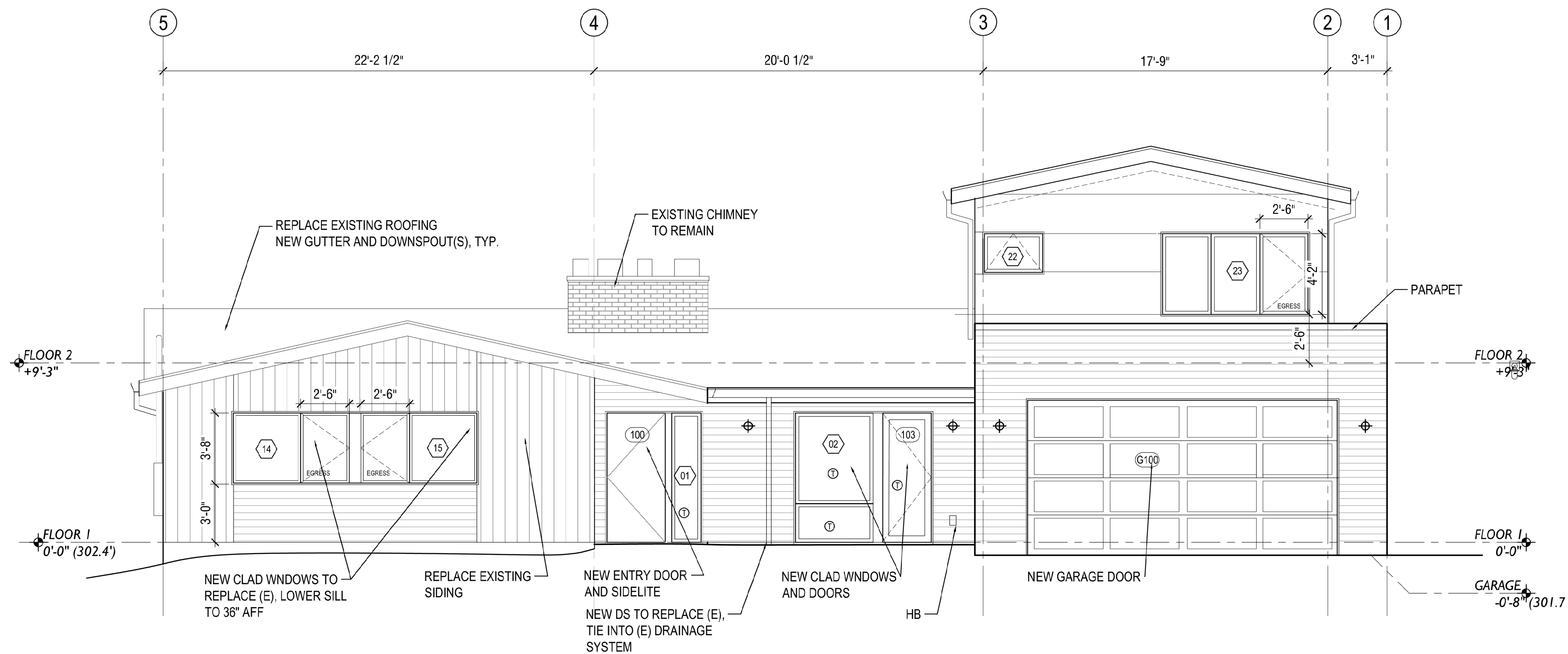
DESIGNED: LH
DRAWN: LH
REVIEWED: LH

**ELEVATIONS
WEST & EAST**

A 3.0



1 ELEVATION WEST
SCALE: 1/8" = 1'-0"



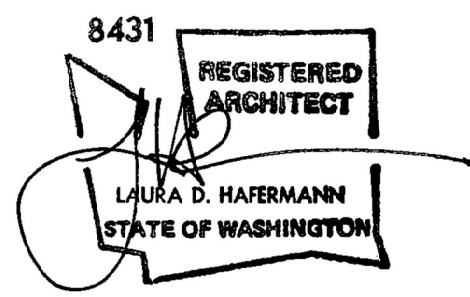
2 ELEVATION EAST
SCALE: 1/8" = 1'-0"



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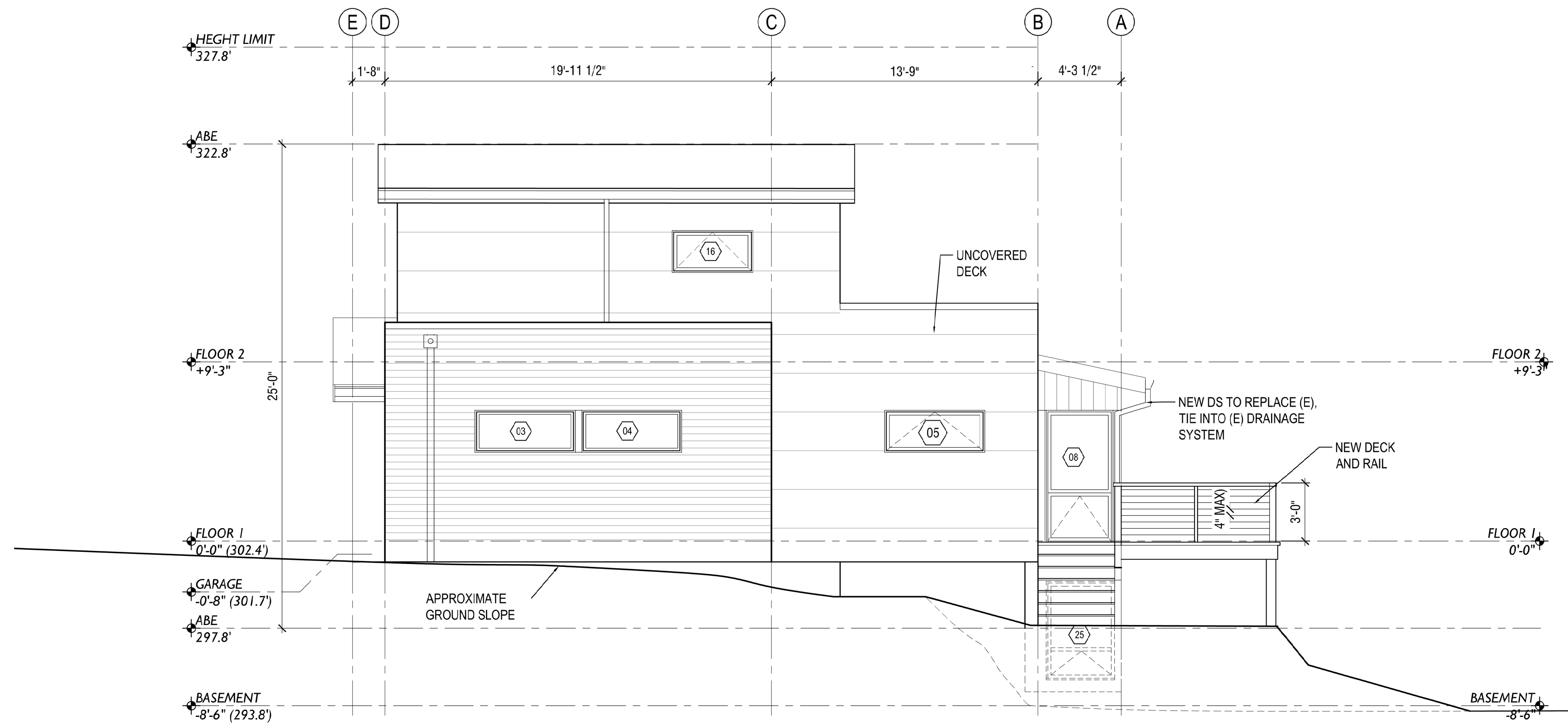
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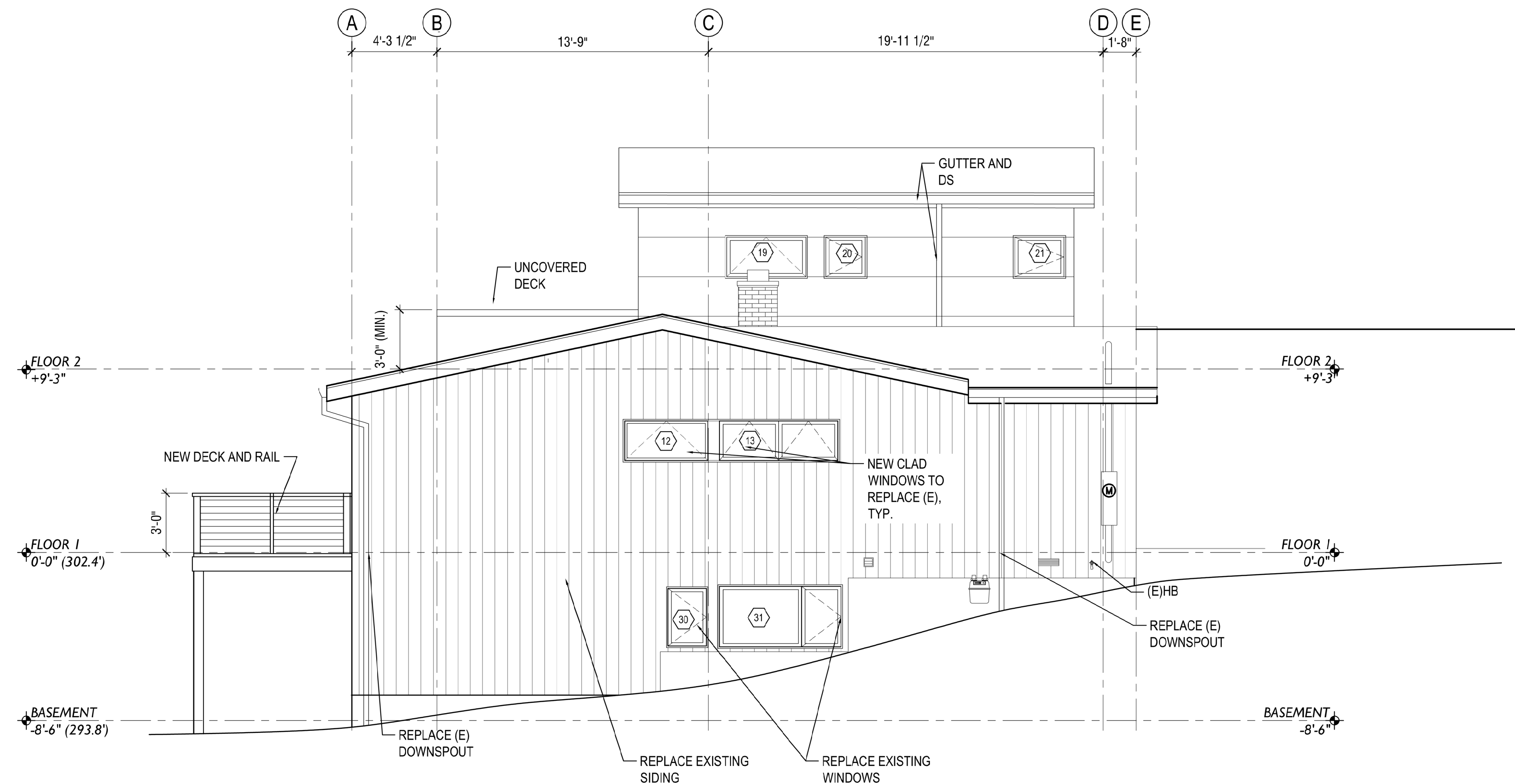
DESIGNED: LH
DRAWN: LH
REVIEWED: LH

ELEVATIONS
NORTH & SOUTH

A 3.1



1 ELEVATION NORTH
SCALE: 1/8" = 1'-0"



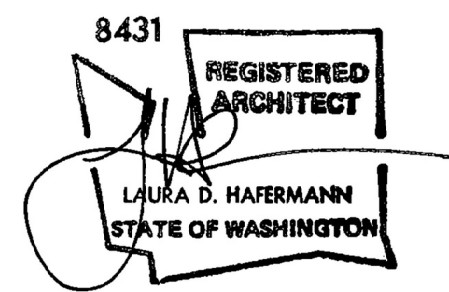
2 ELEVATION SOUTH
SCALE: 1/8" = 1'-0"



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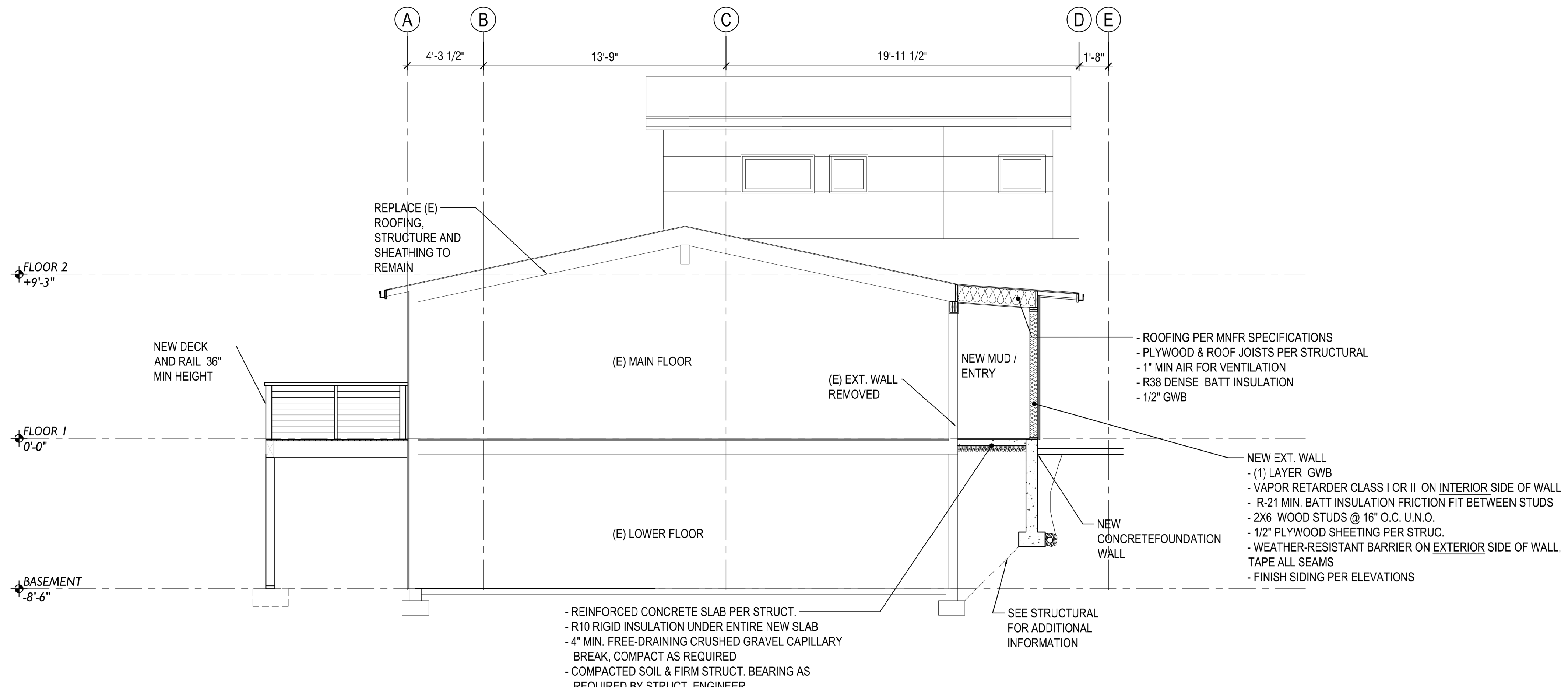
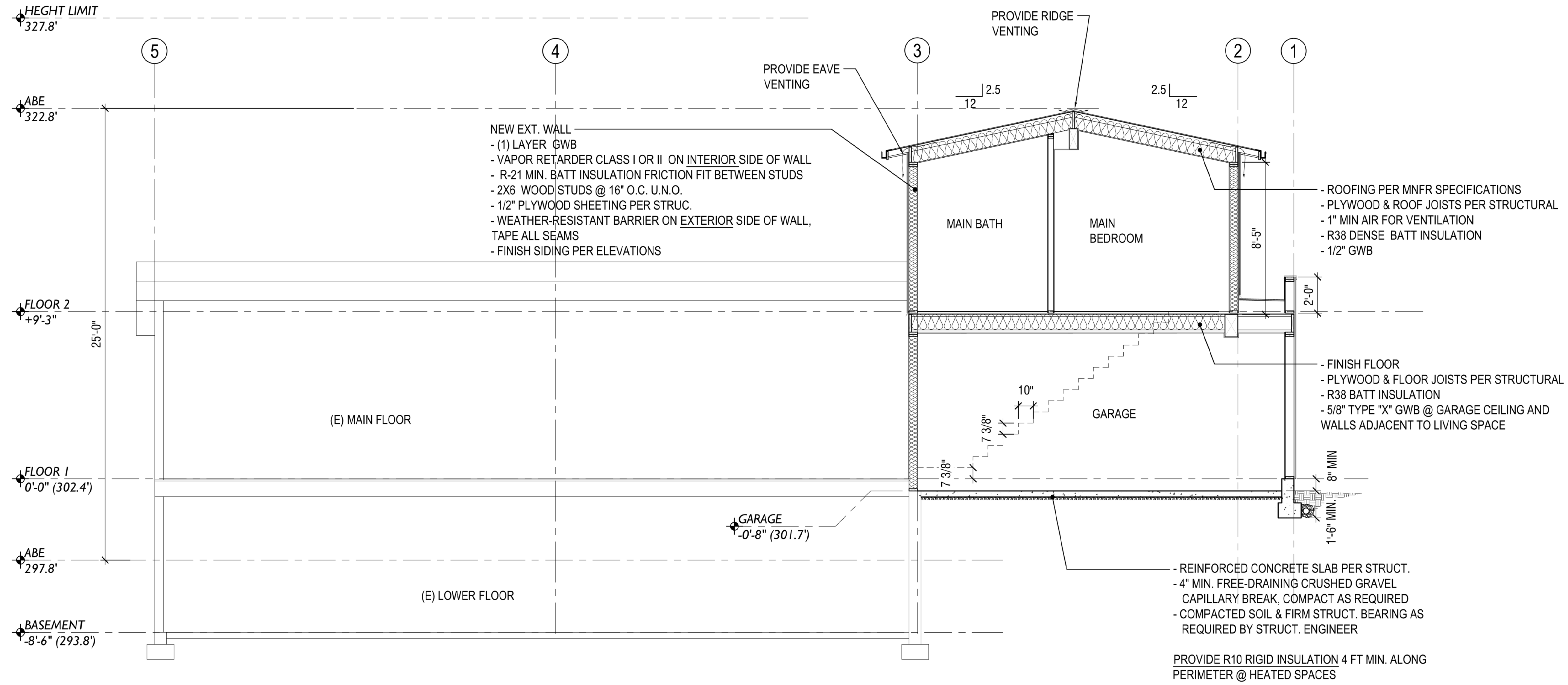
**PERMIT
 SET**

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DESIGNED: LH
 DRAWN: LH
 REVIEWED: LH

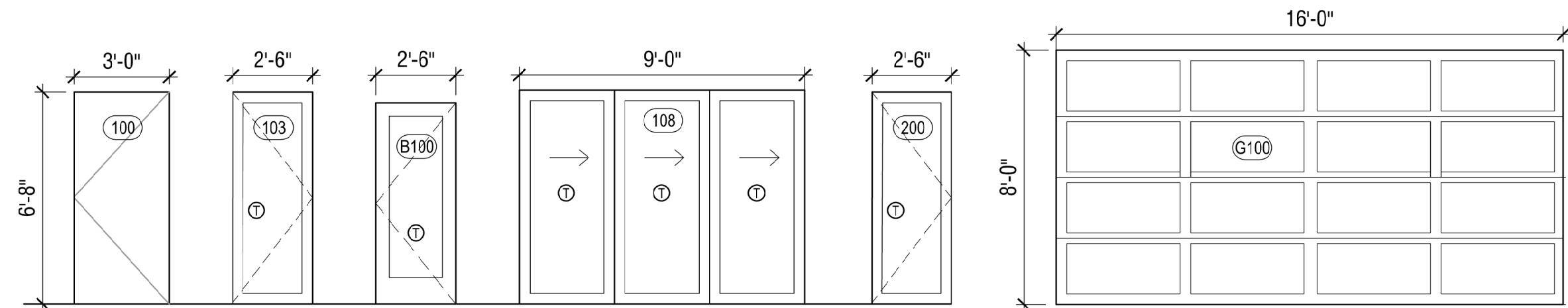
SECTIONS



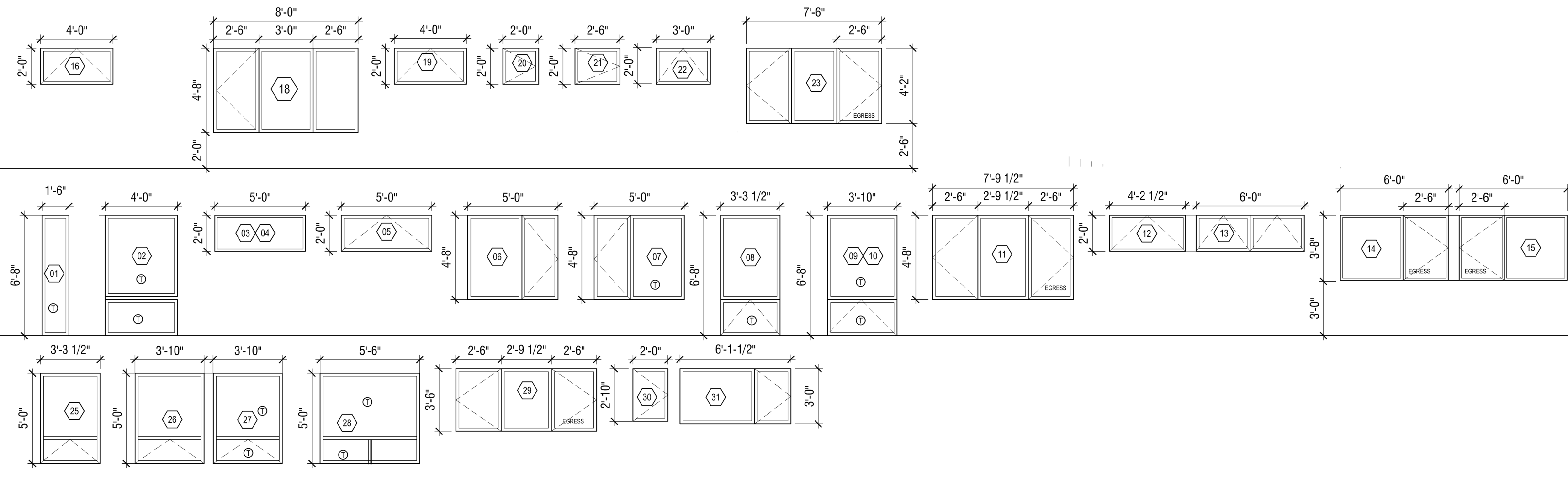
SAFETY GLAZING

IRC SECTION R308 ALL GLASS LOCATED IN AN AREA CONSIDERED HAZARDOUS MUST BE SAFETY GLAZED:

- A. GLAZING IN ALL FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BIFOLD DOORS, EXCEPT DECORATIVE GLAZING AND GLAZED OPENINGS
- B. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24" ARC OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60" ABOVE THE FLOOR OR WALKING SURFACE. EXCEPTIONS: DECORATIVE GLAZING; AN INTERVENING WALL OR PERMANENT BARRIER IS BETWEEN THE DOOR AND THE GLAZING; GLAZING IS IN A WALL ON THE LATCH SIDE OF THE DOOR AND PERPENDICULAR TO THE PLANE OF THE DOOR IN A CLOSED POSITION; GLAZING ADJACENT TO A DOOR GIVING ACCESS TO A CLOSET WHICH IS LESS THAN 3' IN DEPTH SHALL COMPLY WITH C BELOW; AND GLAZING ADJACENT TO THE FIXED PANEL OF A PATIO DOOR.
- C. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEET ALL OF THE FOLLOWING CONDITIONS:
 - I. EXPOSED AREA OF AN INDIVIDUAL PANE IS GREATER THAN 9 SQUARE FEET. AND
 - II. EXPOSED BOTTOM EDGE IS LESS THAN 18" ABOVE THE FLOOR. AND
 - III. EXPOSED TOP EDGE IS GREATER THAN 36" ABOVE THE FLOOR. AND
- IV. 1 OR MORE WALKING SURFACES ARE WITHIN 36" HORIZONTALLY AND IN A STRAIGHT LINE OF THE GLAZING. EXCEPTIONS: DECORATIVE GLAZING; A RAIL AT LEAST 1 1/2" HIGH AND CAPABLE OF WITHSTANDING A HORIZONTAL FORCE AT LEAST 50 POUNDS PER LINEAR FOOT WITHOUT CONTACTING THE GLASS IS INSTALLED IN FRONT OF THE GLAZING 34" TO 38" ABOVE THE WALKING SURFACE, OR OUTBOARD PANES IN INSULATING GLASS UNITS AND OTHER MULTIPLE GLAZED PANELS WHEN THE BOTTOM EDGE OF THE GLASS IS 25 FEET OR MORE ABOVE GRADE, ROOF, WALKING SURFACES OR OTHER HORIZONTAL SURFACE ADJACENT TO THE GLASS EXTERIOR.
- D. GLAZING IN RAILINGS REGARDLESS OF AREA OR HEIGHT ABOVE A WALKING SURFACE.
- E. TUB, SHOWER, HOT TUB, WHIRLPOOL, SAUNA, & STEAM ROOM ENCLOSURES AND ANY GLAZING IN A BATHROOM WALL ENCLOSURE, WHERE THE BOTTOM IS LESS THAN 60" ABOVE THE WALKING SURFACE. EXCEPTION: GLAZING MORE THAN 60" MEASURED HORIZONTALLY FROM THE WATER'S EDGE OF A HOT TUB, WHIRLPOOL OR BATHTUB.
- F. GLAZING IN WALLS AND FENCES USED AS THE BARRIER OF INDOOR AND OUTDOOR SWIMMING POOLS AND SPAS WHEN THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" ABOVE A WALKING SURFACE AND THE GLAZING IS WITHIN 5' OF THE WATER'S EDGE.
- G. GLAZING WITHIN 36" HORIZONTALLY OF A WALKING SURFACE AND ADJACENT TO STAIRWAYS, LANDINGS AND RAMPS WHEN THE EXPOSED SURFACE IS LESS THAN 36" ABOVE THE PLANE OF THE WALKING SURFACE. EXCEPTION: A RAIL, GUARD OR WALL IS INSTALLED MEETING CONDITIONS OF R308.4 (7).
- H. GLAZING WITHIN 60" HORIZONTALLY OF THE BOTTOM TREAD OF A STAIRWAY IN ANY DIRECTION WHEN THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 36 INCHES ABOVE THE NOSE OF THE TREAD. EXCEPTION: GUARDS COMPLYING WITH R312 AND THE GLASS IS MORE THAN 18" FROM THE GUARD.

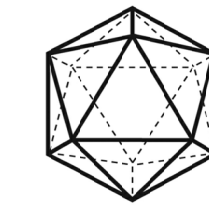


EXTERIOR DOOR TYPES
SCALE 1/4" = 1'-0"



WINDOW TYPES
SCALE 1/4" = 1'-0"

NOTE: ASSUMED WINDOW/GLAZED DOOR U VALUE: 0.28



SALT STUDIO

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STRUCTURAL ENGINEER:
SWENSON SAY FAGET
XXX
XXX
(XXX)XXX-XXXX



**ECKELS
ANDERSEN
ADDITION**

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MERCER IS, WA 98040

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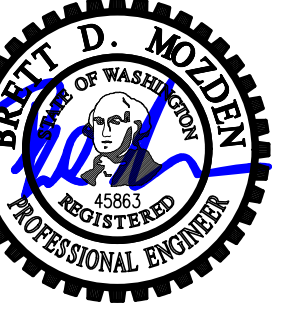
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REVISED SCOPE 12/15/23
OPTIONS 02/02/24
PERMIT 05/10/24

DESIGNED: LH
DRAWN: LH
REVIEWED: LH

SCHEDULES

A6.0



DESIGN: LAN
DRAWN: NHD
CHECKED: BDM
APPROVED: BDM

REVISIONS:

DPD:

PROJECT TITLE:
Eckels Andersen
3413 72nd Pl. SE
Mercer Island, WA 98040

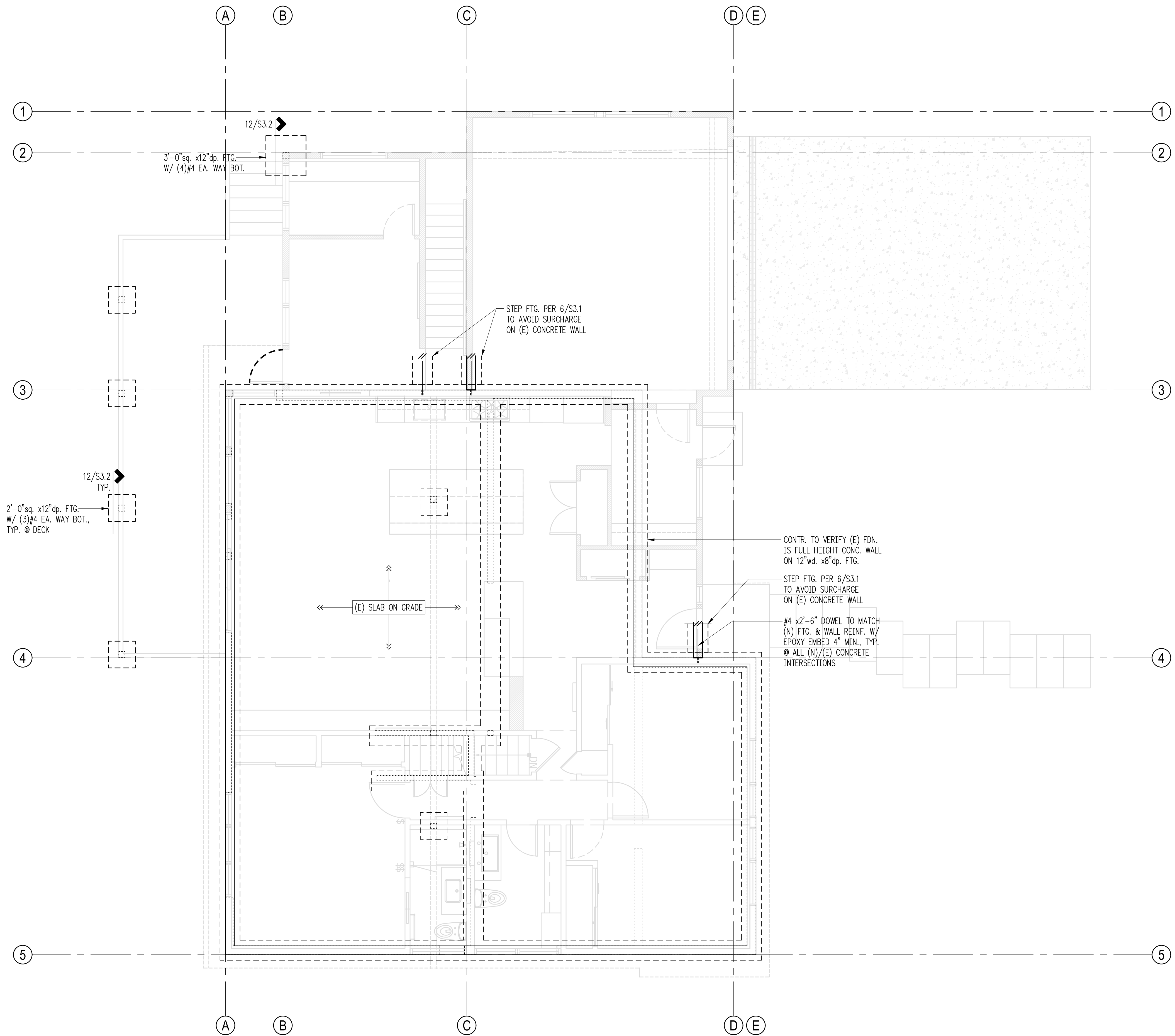
ARCHITECT:
Salt Studio LLC
66 Bell Street #1
Seattle, WA 98121
PH 206.948.2104

ISSUE:
PERMIT

SHEET TITLE:
Foundation Plan

SCALE: 1/4" = 1'-0" U.N.O.
DATE: May 9, 2024
PROJECT NO: 10213-2023-02
SHEET NO:

S2.1



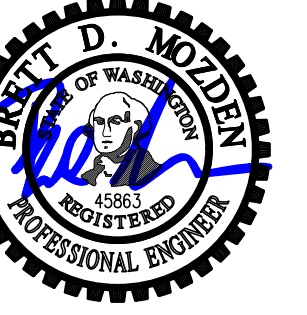
Plan Notes

- DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.
- REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.
- EXISTING FRAMING ON PLANS IS ASSUMED. CONTRACTOR TO VERIFY DIRECTIONS AND EXTENTS. NOTIFY ARCHITECT AND ENGINEER IF DIFFERENT.
- THE BOTTOM OF ALL NEW EXTERIOR FOOTINGS SHALL BE 18" MINIMUM BELOW EXTERIOR GRADE.
- PROVIDE AC OR LCE COLUMN CAP AND ABU BASE AT ALL NEW ISOLATED BEAM TO COLUMN CONNECTIONS U.N.O.

Legend

- NEW STRUCTURAL WALL OR POST ABOVE
- EXISTING STRUCTURAL WALL OR POST ABOVE
- NEW STEM WALL & FOOTING
- EXISTING STEM WALL & FOOTING





DESIGN:	LAN
DRAWN:	NHD
CHECKED:	BDM
APPROVED:	BDM

REVISIONS:	
DPD:	

PROJECT TITLE:
Eckels Andersen
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 Mercer Island, WA 98040

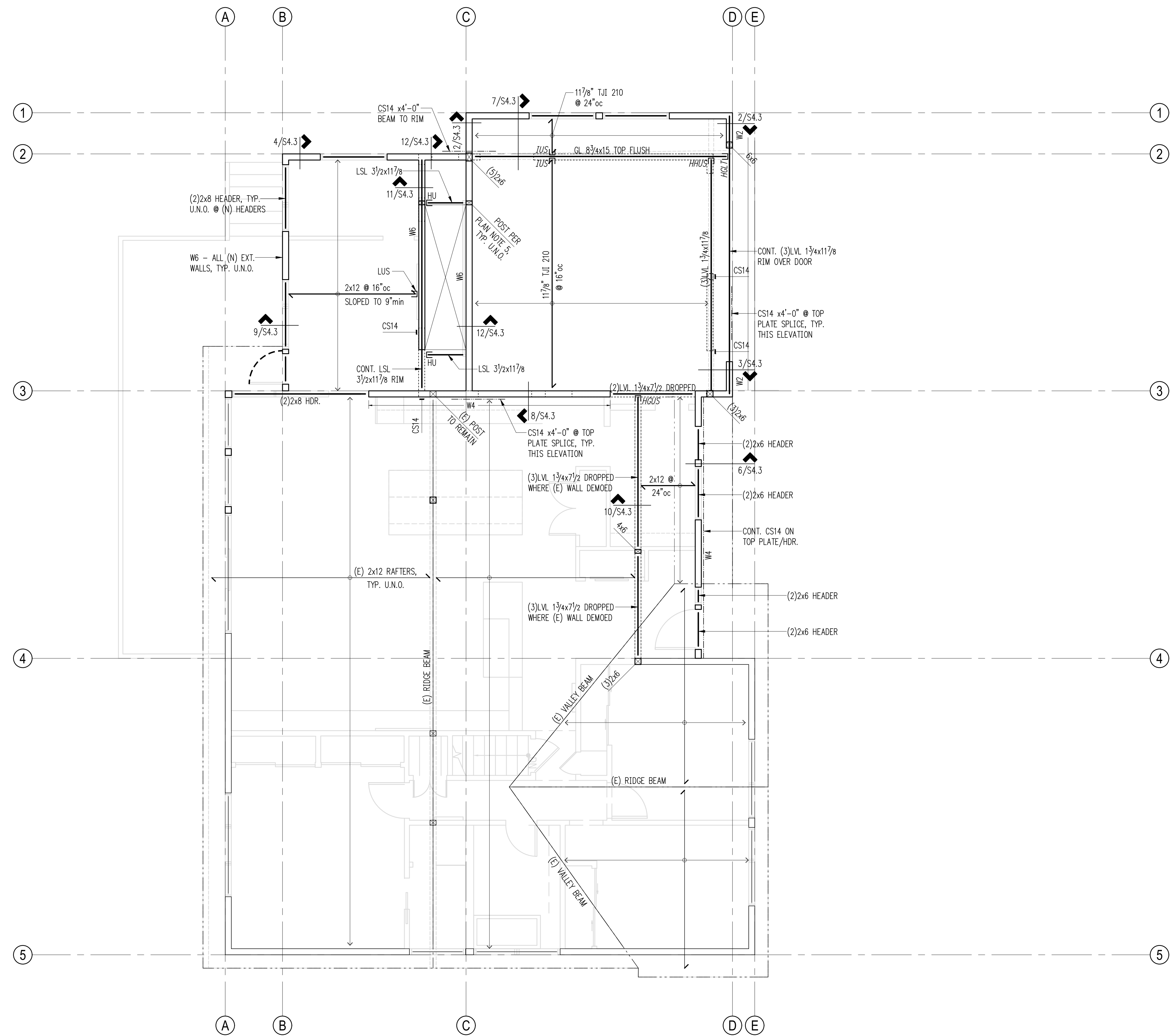
ARCHITECT:
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 PH 206.948.2104

ISSUE:
PERMIT

SHEET TITLE:
**Upper Floor/
 Low Roof
 Framing Plan**

SCALE:
 1/4" = 1'-0" U.N.O.
 DATE:
 May 9, 2024
 PROJECT NO:
 10213-2023-02
 SHEET NO:

S2.3

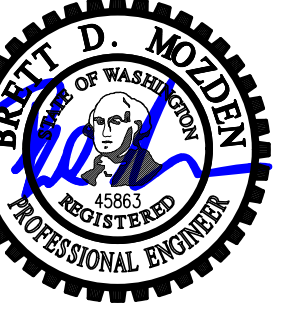


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- DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.
- REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.
- EXISTING FRAMING ON PLANS IS ASSUMED. CONTRACTOR TO VERIFY DIRECTIONS AND EXTENTS. NOTIFY ARCHITECT AND ENGINEER IF DIFFERENT.
- ALL NEW POSTS ABOVE SHALL BEAR FULLY ON BEAMS OR POSTS BELOW AND SHALL HAVE FULL CONTINUOUS BEARING THROUGH FLOORS TO FOUNDATION.
- PROVIDE (2) BEARING STUDS AT EACH END OF ALL NEW HEADERS AND BEAMS OVER 3'-0" IN LENGTH, U.N.O.
- PROVIDE AC OR LCE COLUMN CAP AND ABU BASE AT ALL NEW ISOLATED BEAM TO COLUMN CONNECTIONS U.N.O.
- NEW MANUFACTURED LUMBER PRODUCTS (LSL, LVL, PSL, GL) SHALL BE INSTALLED W/ A MOISTURE CONTENT OF 12% OR LESS. THE CONTRACTOR SHALL MAKE PROVISIONS DURING CONSTRUCTION TO PREVENT THE MOISTURE CONTENT OF THE INSTALLED BEAMS FROM EXCEEDING 12%.
- PROVIDE H1 AT ENDS OF ALL NEW RAFTERS, U.N.O.
- "W." INDICATES PLYWOOD SHEARWALL BELOW FRAMING SHOWN. REFER TO SHEARWALL SCHEDULE FOR WALL ATTACHMENTS. ALL NEW EXTERIOR WOOD FRAMED WALLS ARE W6, U.N.O.
- TYPICAL NEW FLOOR FRAMING CONSISTS OF FLOORING PER ARCHITECT OVER 3/4" T&G APA RATED PLYWOOD FACE GRAIN PERPENDICULAR TO FRAMING PER PLAN, U.N.O. NAIL FLOOR SHEATHING W/ 8D AT 6" O.C. AT FRAMED PANEL EDGES AND OVER SHEARWALLS AND COLLECTORS, AND AT 12" O.C. IN FIELD.
- PROVIDE BLOCKING/BRIDGING AT 8'-0" O.C. IN NEW FLOOR FRAMING
- TYPICAL NEW ROOF FRAMING CONSISTS OF ROOFING PER ARCHITECTURAL DRAWINGS OVER 1/2" CDX APA RATED SHEATHING (EXPOSURE 1), FACE GRAIN PERPENDICULAR TO FRAMING PER PLAN, U.N.O. NAIL ROOF SHEATHING WITH 8D AT 6" O.C. AT ALL FRAMED PANEL EDGES AND OVER SHEARWALLS AND COLLECTORS, AND AT 12" O.C. FIELD.

Legend

	NEW STRUCTURAL WALL OR POST BELOW
	EXISTING WALL OR POST BELOW
	NON-STRUCTURAL WALL BELOW
	NEW STRUCTURAL WALL OR POST ABOVE
	EXISTING STRUCTURAL WALL OR POST ABOVE
	Wx SHEARWALL PER 12/S4.1
	SPAN DIRECTION
	EXTENT OF JOISTS
	NEW HEADER/BEAM PER PLAN
	EXISTING HEADER/BEAM
	HANGER
	CSxx HOLDOWN STRAP PER 10/S4.1, U.N.O.



DESIGN: LAN
DRAWN: NHD
CHECKED: BDM
APPROVED: BDM

REVISIONS:

DPD:

PROJECT TITLE:
Eckels Andersen
3413 72nd Pl. SE
Mercer Island, WA 98040

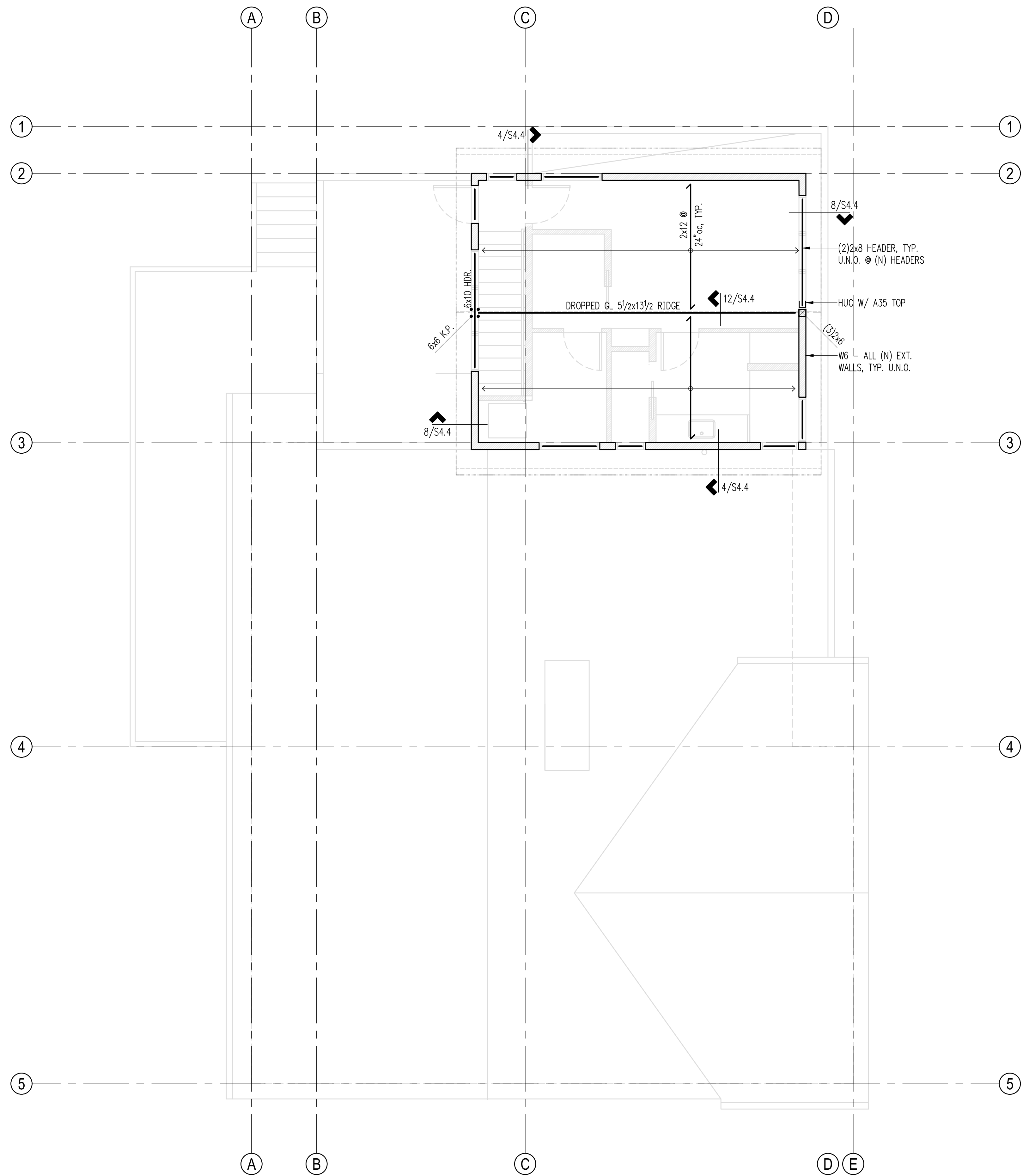
ARCHITECT:
Salt Studio LLC
66 Bell Street #1
Seattle, WA 98121
PH 206.948.2104

ISSUE:
PERMIT

SHEET TITLE:
Roof Framing Plan

SCALE: 1/4" = 1'-0" U.N.O.
DATE: May 9, 2024
PROJECT NO: 10213-2023-02
SHEET NO:

S2.4



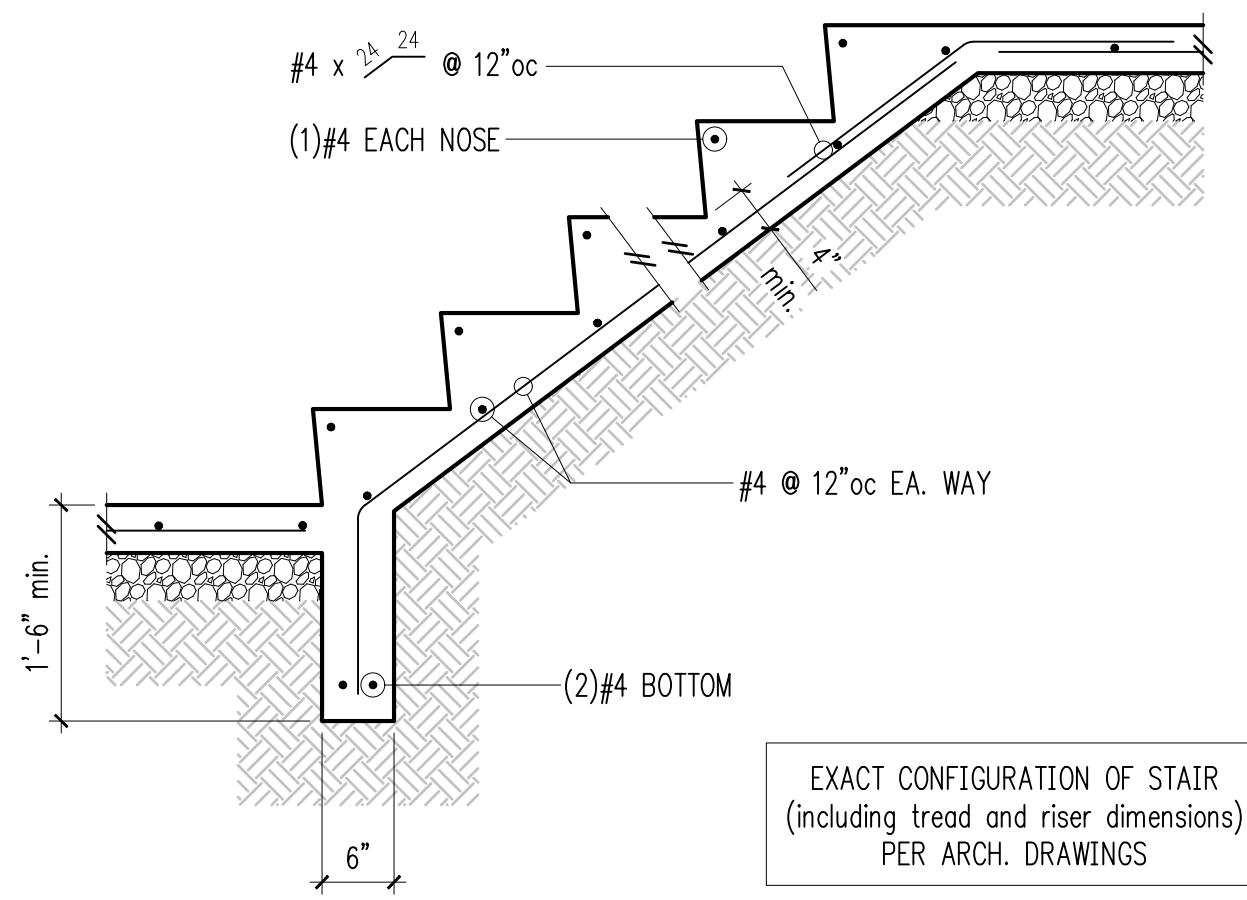
Plan Notes

- DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.
- REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.
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- PROVIDE AC OR LCE COLUMN CAP AND ABU BASE AT ALL NEW ISOLATED BEAM TO COLUMN CONNECTIONS U.N.O.
- NEW MANUFACTURED LUMBER PRODUCTS (LSL, LVL, PSL, GL) SHALL BE INSTALLED W/ A MOISTURE CONTENT OF 12% OR LESS. THE CONTRACTOR SHALL MAKE PROVISIONS DURING CONSTRUCTION TO PREVENT THE MOISTURE CONTENT OF THE INSTALLED BEAMS FROM EXCEEDING 12%.
- PROVIDE H1 AT ENDS OF ALL NEW RAFTERS, U.N.O.
- "W." INDICATES PLYWOOD SHEARWALL BELOW FRAMING SHOWN. REFER TO SHEARWALL SCHEDULE FOR WALL ATTACHMENTS. ALL NEW EXTERIOR WOOD FRAMED WALLS ARE W6, U.N.O.
- TYPICAL NEW ROOF FRAMING CONSISTS OF ROOFING PER ARCHITECTURAL DRAWINGS OVER 1/2" CDX APA RATED SHEATHING (EXPOSURE 1), FACE GRAIN PERPENDICULAR TO FRAMING PER PLAN, U.N.O. NAIL ROOF SHEATHING WITH 8D AT 6" O.C. AT ALL FRAMED PANEL EDGES AND OVER SHEARWALLS AND COLLECTORS, AND AT 12" O.C. FIELD.

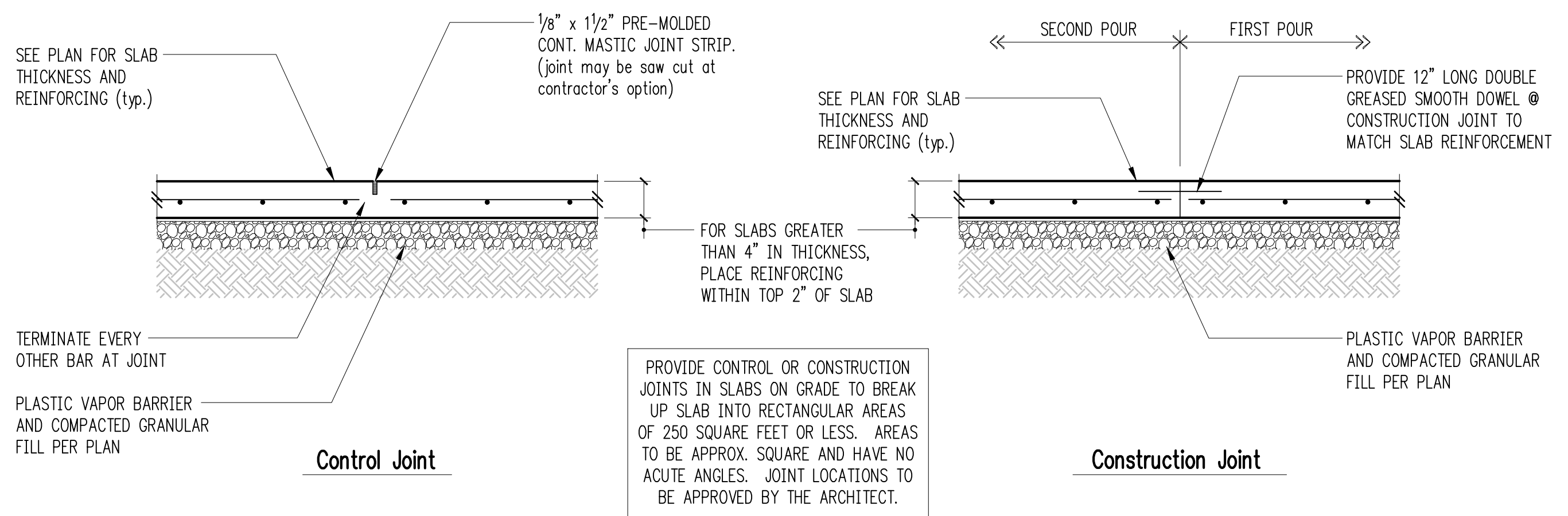
Legend

- NEW STRUCTURAL WALL OR POST BELOW
- EXISTING WALL OR POST BELOW
- NON-STRUCTURAL WALL BELOW
- SHEARWALL PER 12/S4.1
- SPAN DIRECTION
- EXTENT OF JOISTS
- NEW HEADER/BEAM PER PLAN
- EXISTING HEADER/BEAM
- HANGER

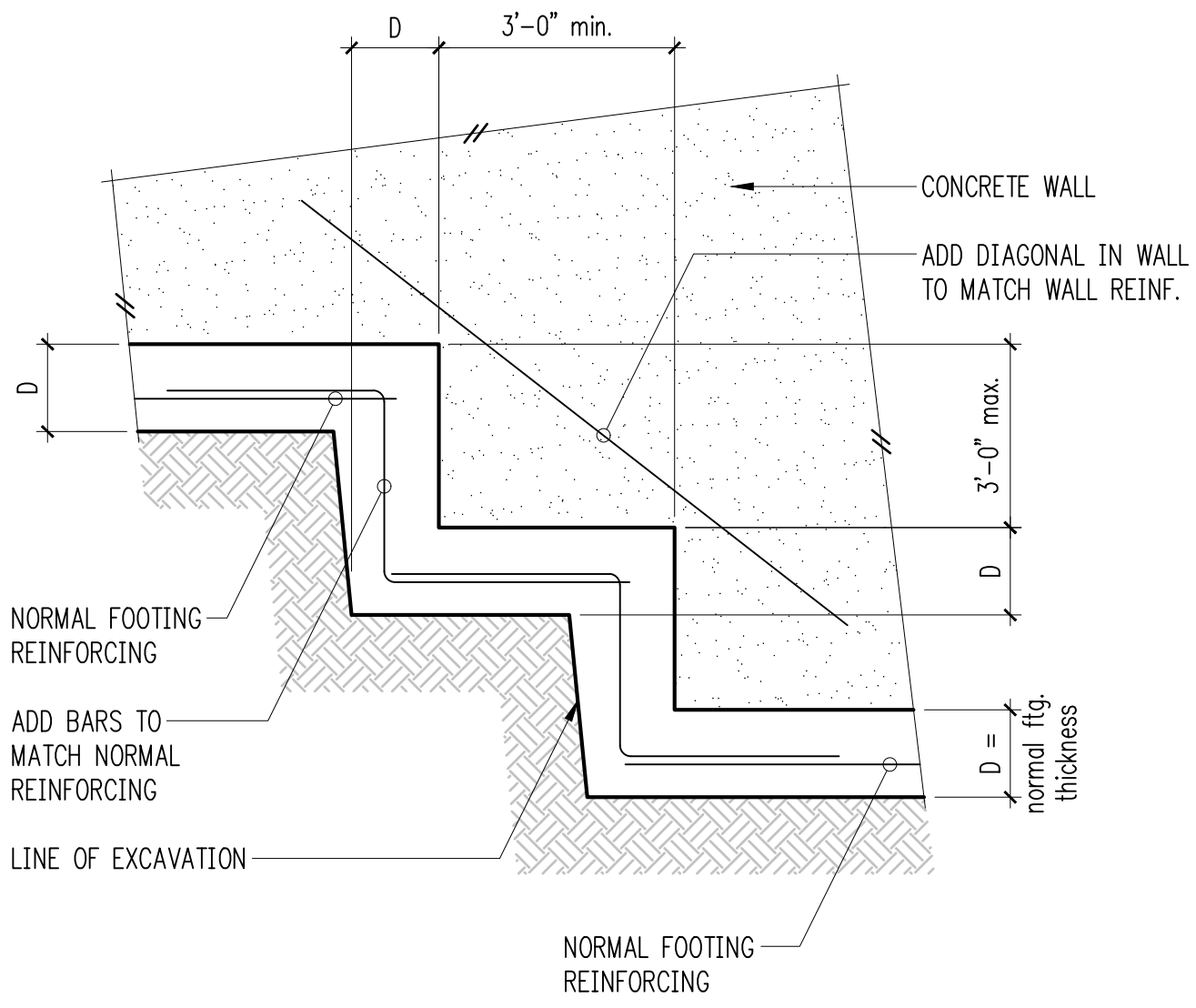




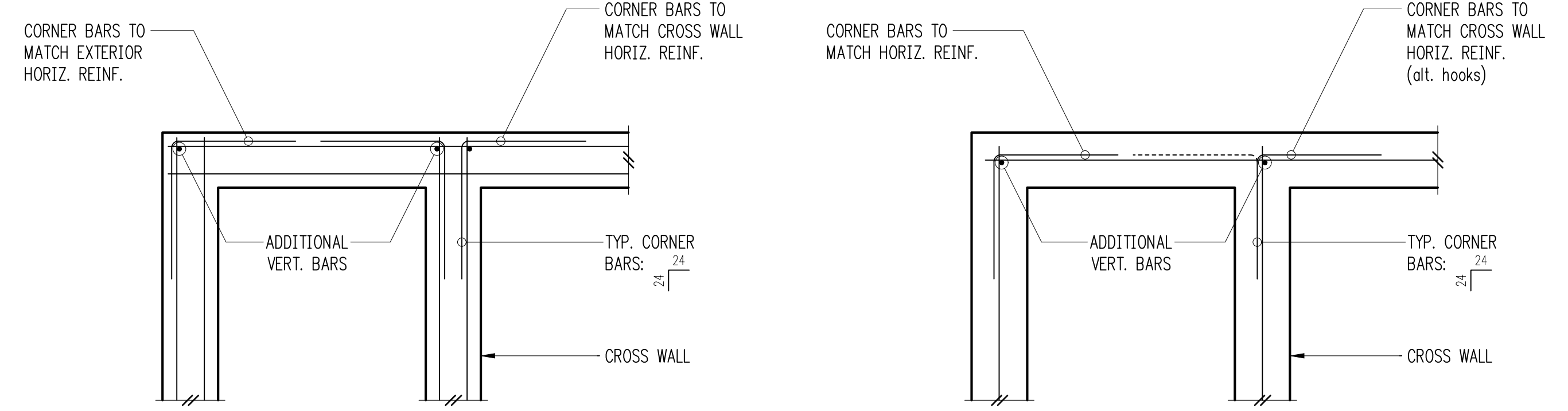
Typical Stair On Grade 2



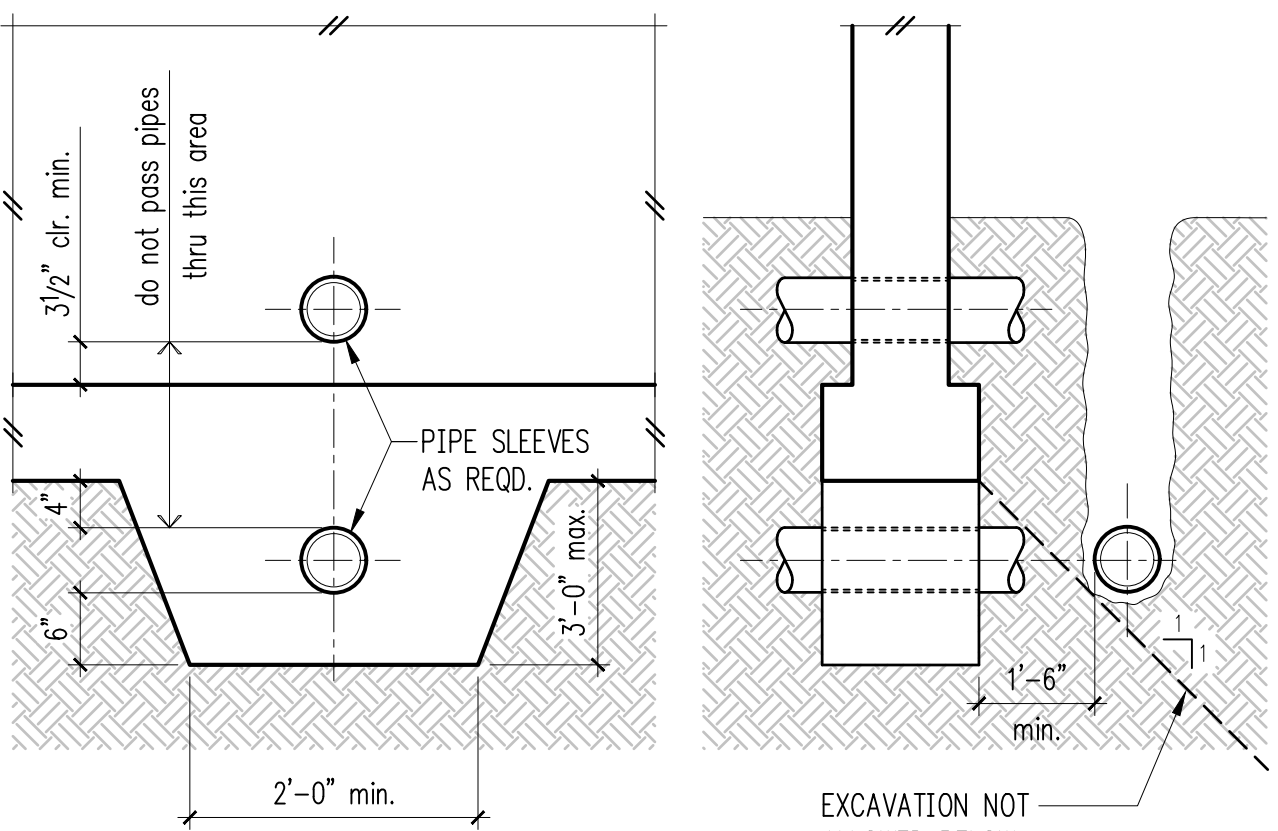
Typical Slab Joints 4



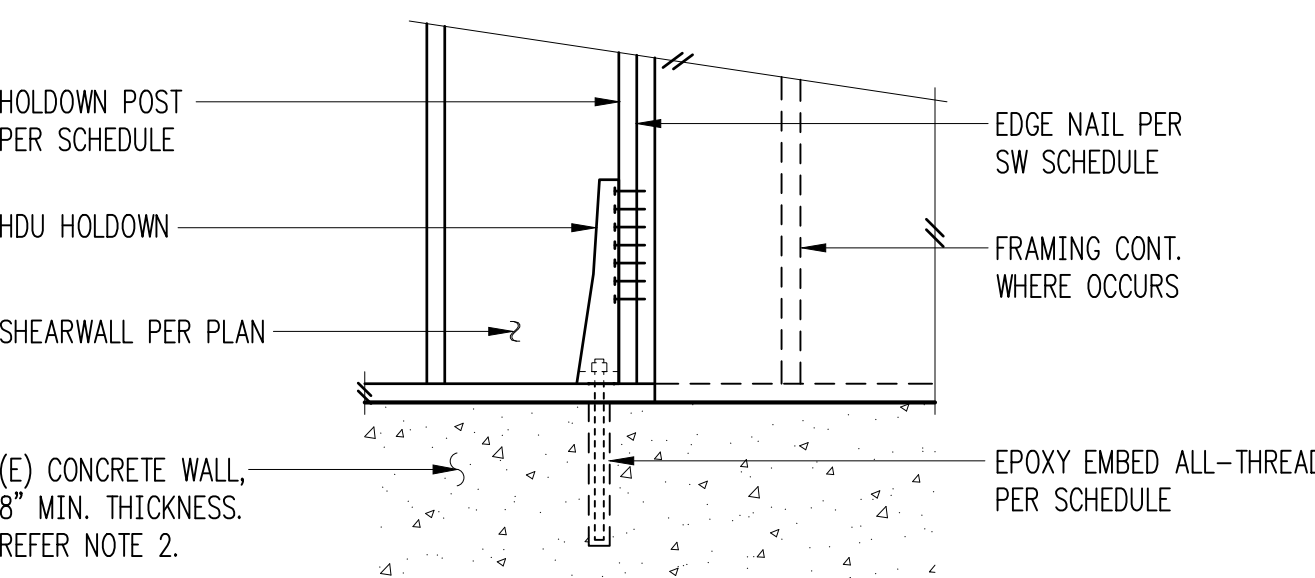
Typical Stepped Footing 6



Typical Corner Bars at Concrete Walls and Footings 8



Pipe and Trench Locations 9

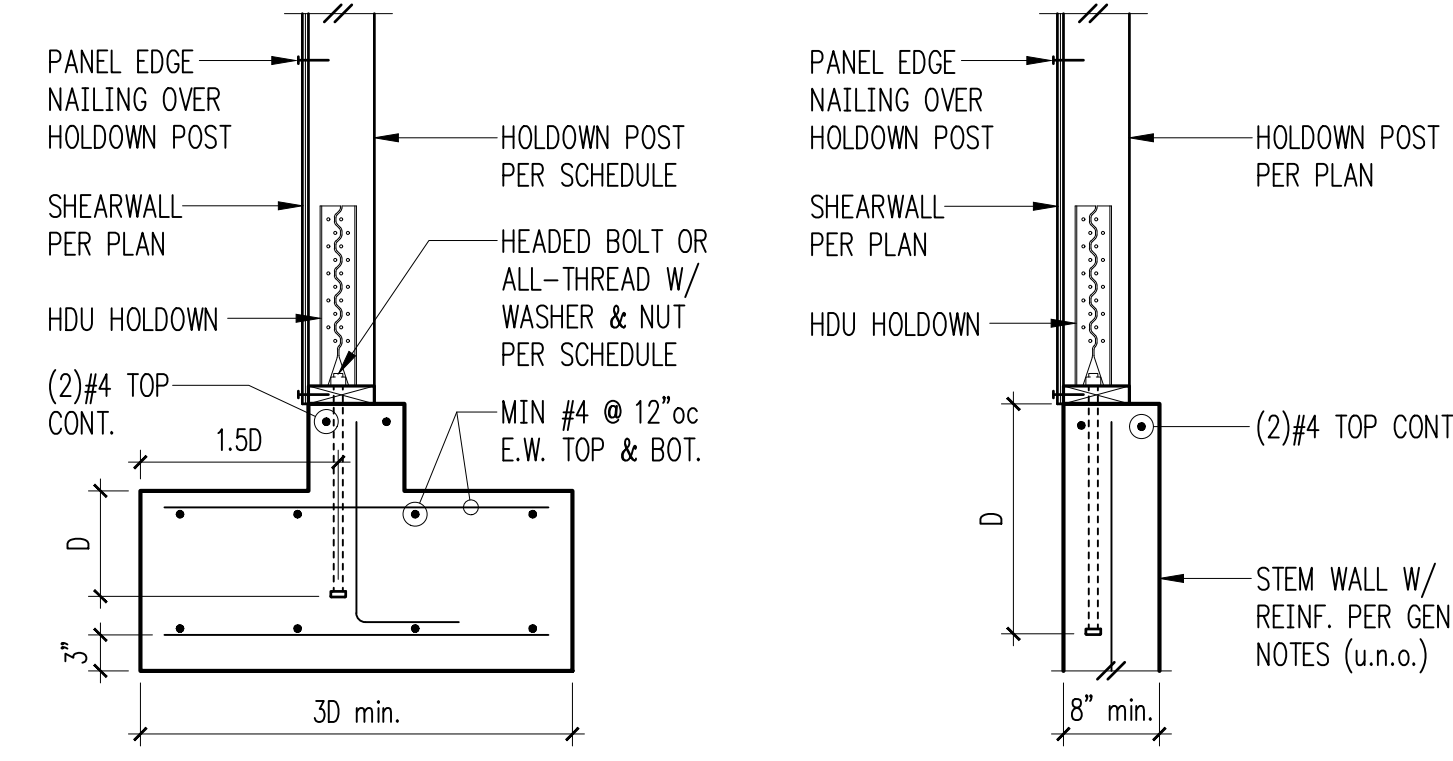


Holdown Schedule

Plan Mark	Screws	Anchor Bolt	A.B. Embed	Holdown Post ①	
				if 2x4	if 2x6
HDU2-SDS2.5	(6)SDS 1/4"x2 1/2"	5/8"φ	12"	(2) 2x4	(2) 2x6

- ① MINIMUM SIZE OF POST AT END OF WALL UNLESS OTHERWISE NOTED ON FRAMING PLANS.
- ② FIELD VERIFY CONCRETE WALL THICKNESS. NOTIFY ENGINEER IF EXISTING WALL THICKNESS IS LESS THAN 8".

Typical HDU Holdown 10



HDU Into Footing Option HDU Into Stem Wall Option

Holdown Schedule

Plan Mark	Screws	Anchor Bolt	Min. A.B. Embed (D)		Holdown Post ①	
			Stem Wall	Footing	if 2x4	if 2x6
HDU2-SDS2.5	(6)SDS 1/4"x2 1/2"	5/8"φ	12"	4"	(2) 2x4	(2) 2x6
HDU4-SDS2.5	(10)SDS 1/4"x2 1/2"	5/8"φ	18"	6"	4x4	4x6
HDU5-SDS2.5	(14)SDS 1/4"x2 1/2"	5/8"φ	SB5/8x24	7"	4x4	4x6
HDU8-SDS2.5	(20)SDS 1/4"x2 1/2"	7/8"φ	SSTB28	8"	4x6	6x6
HDU11-SDS2.5	(30)SDS 1/4"x2 1/2"	1"φ	SB1x30	10"	4x8	6x6
HDU14-SDS2.5	(36)SDS 1/4"x2 1/2"	1"φ	N/A	12"	4x8	6x6

- ① MINIMUM SIZE OF POST AT END OF WALL UNLESS OTHERWISE NOTED ON FRAMING PLANS.

Typical HDU Holdown 12

REVISIONS:

DPD:

PROJECT TITLE:

Eckels Andersen
 3413 72nd Pl. SE
 Mercer Island, WA 98040

ARCHITECT:

Salt Studio LLC
 66 Bell Street #1
 Seattle, WA 98121
 PH 206.948.2104

ISSUE:

PERMIT

SHEET TITLE:

Typical Concrete Details

SCALE:

3/4" = 1'-0" U.N.O.

DATE:

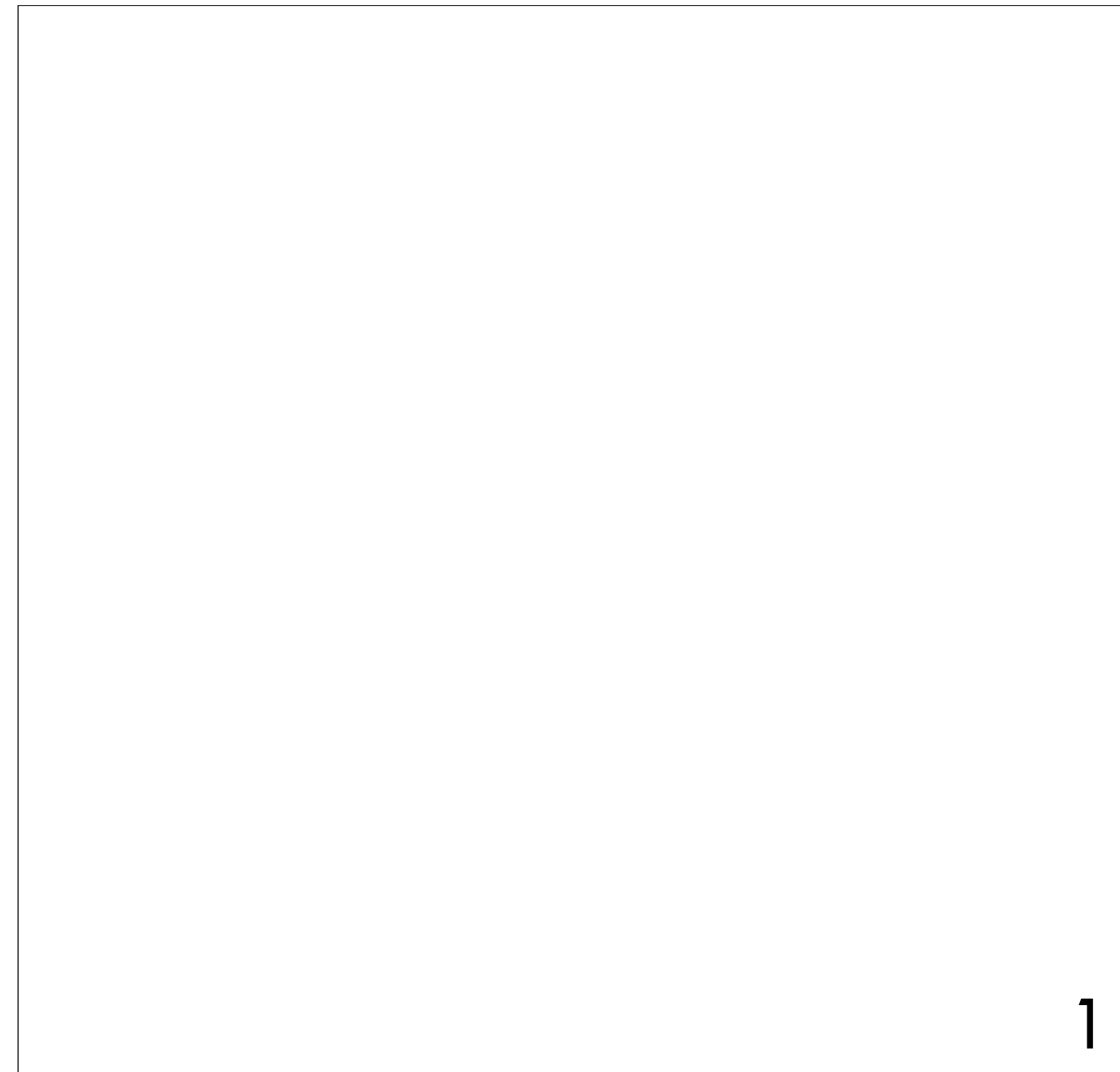
May 9, 2024

PROJECT NO:

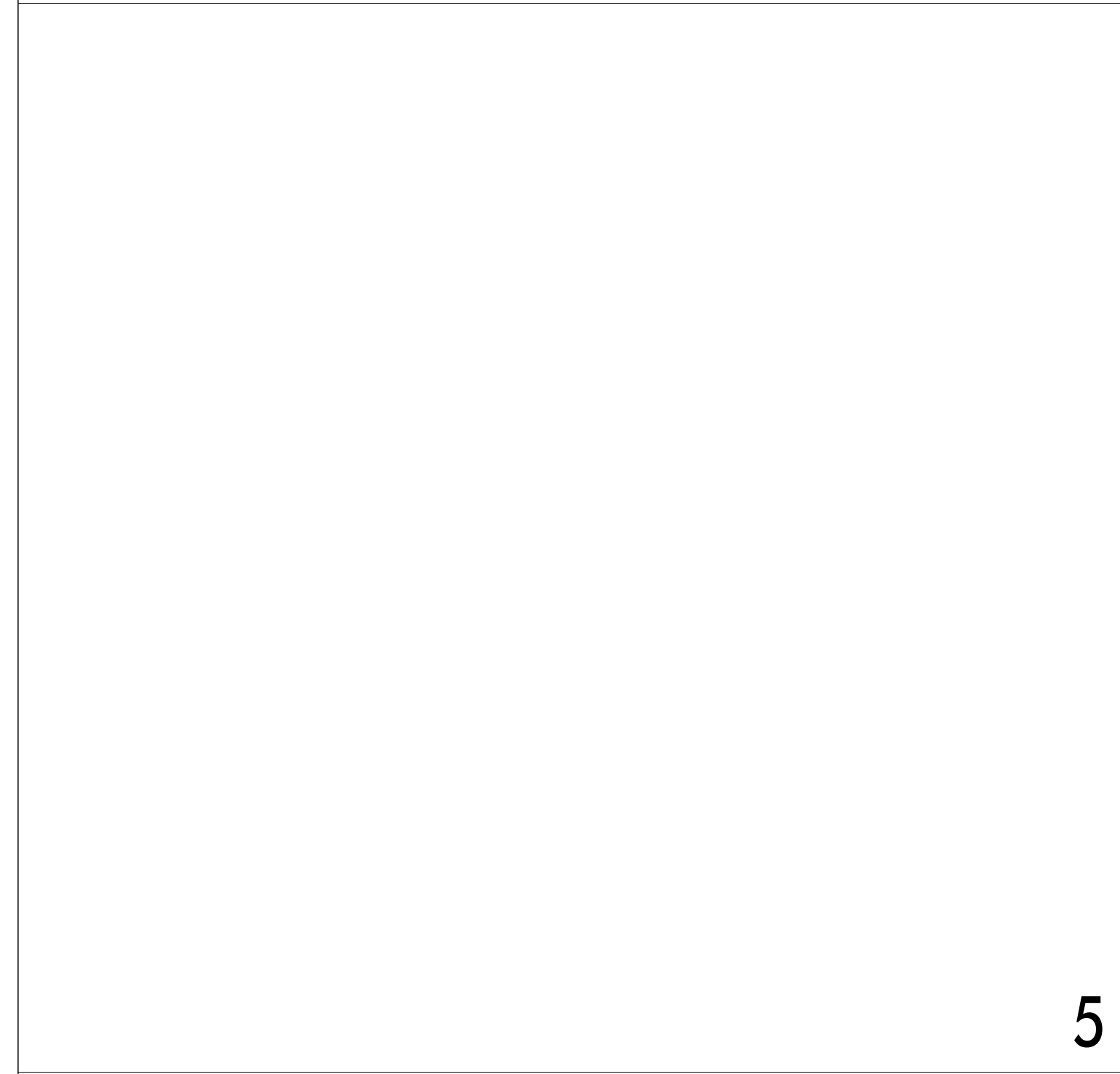
10213-2023-02

SHEET NO:

S3.1



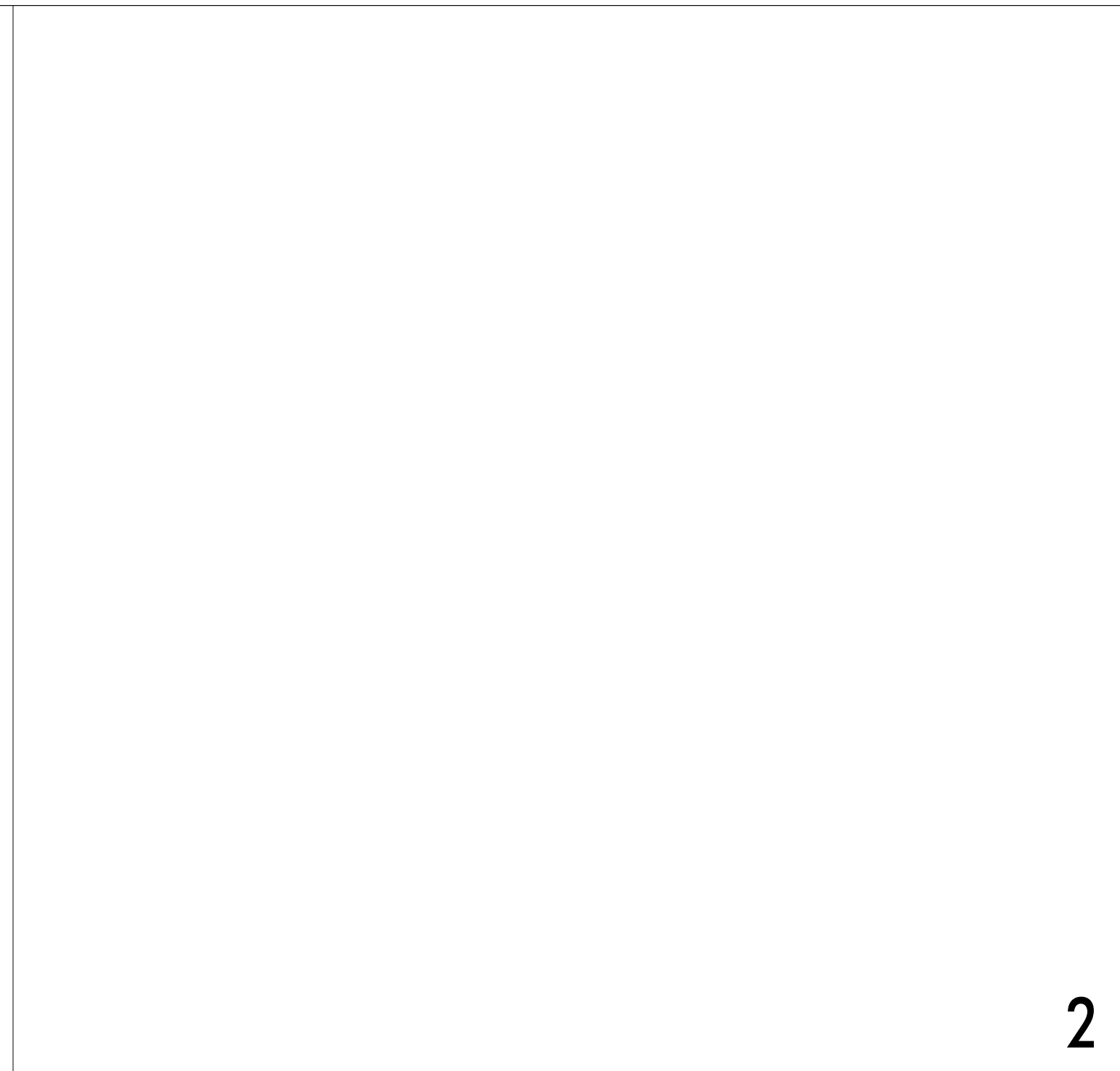
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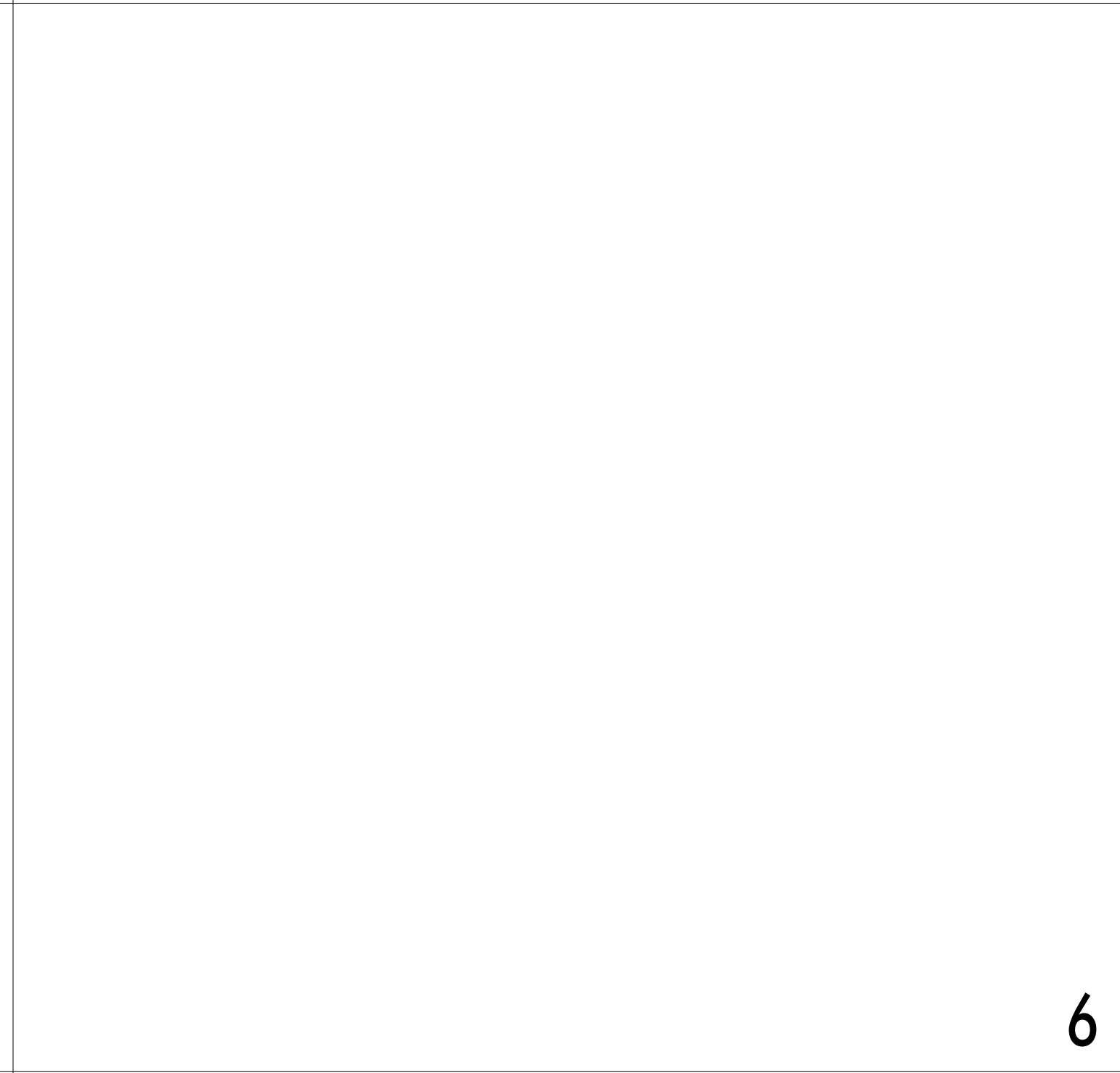
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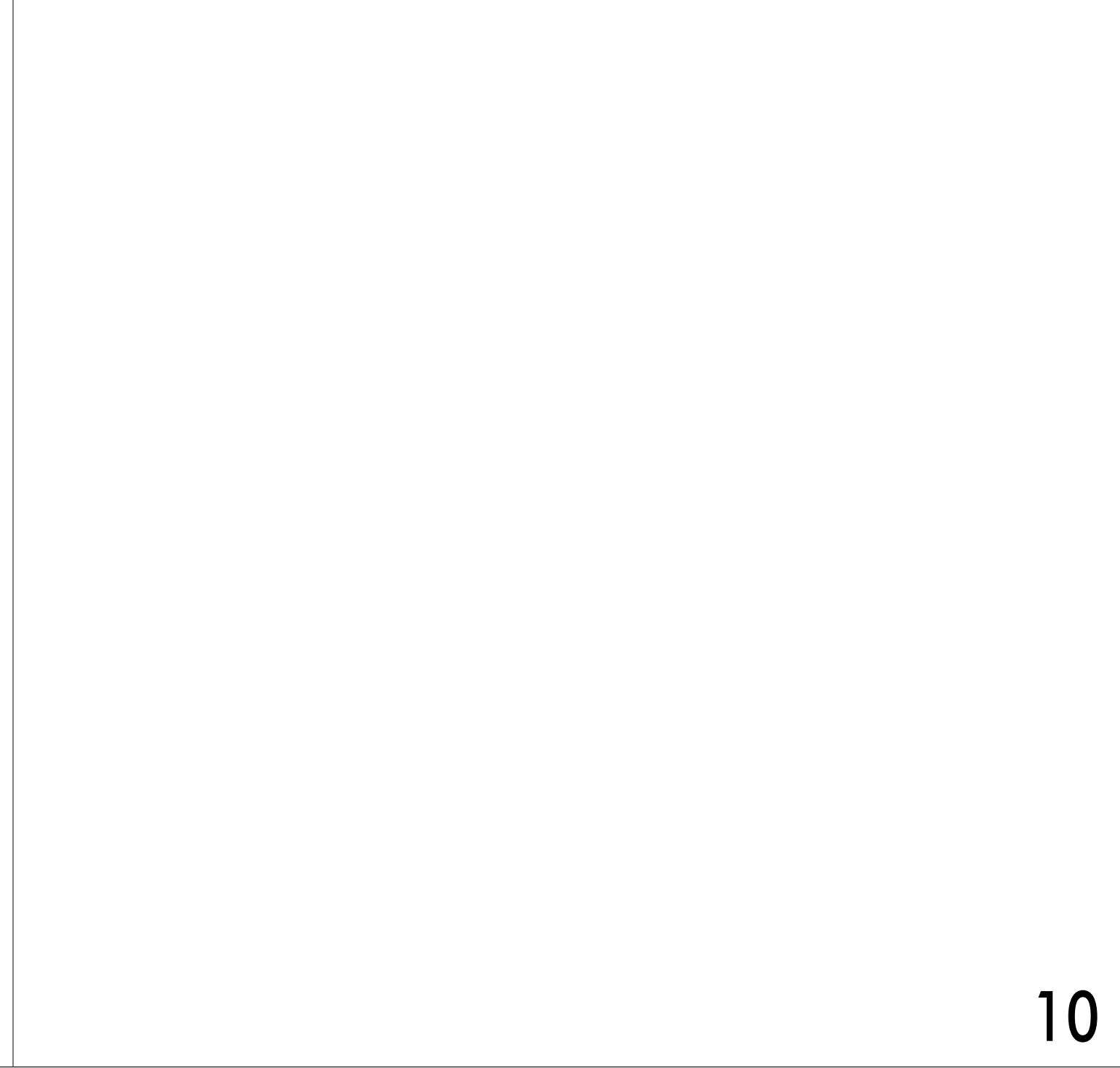
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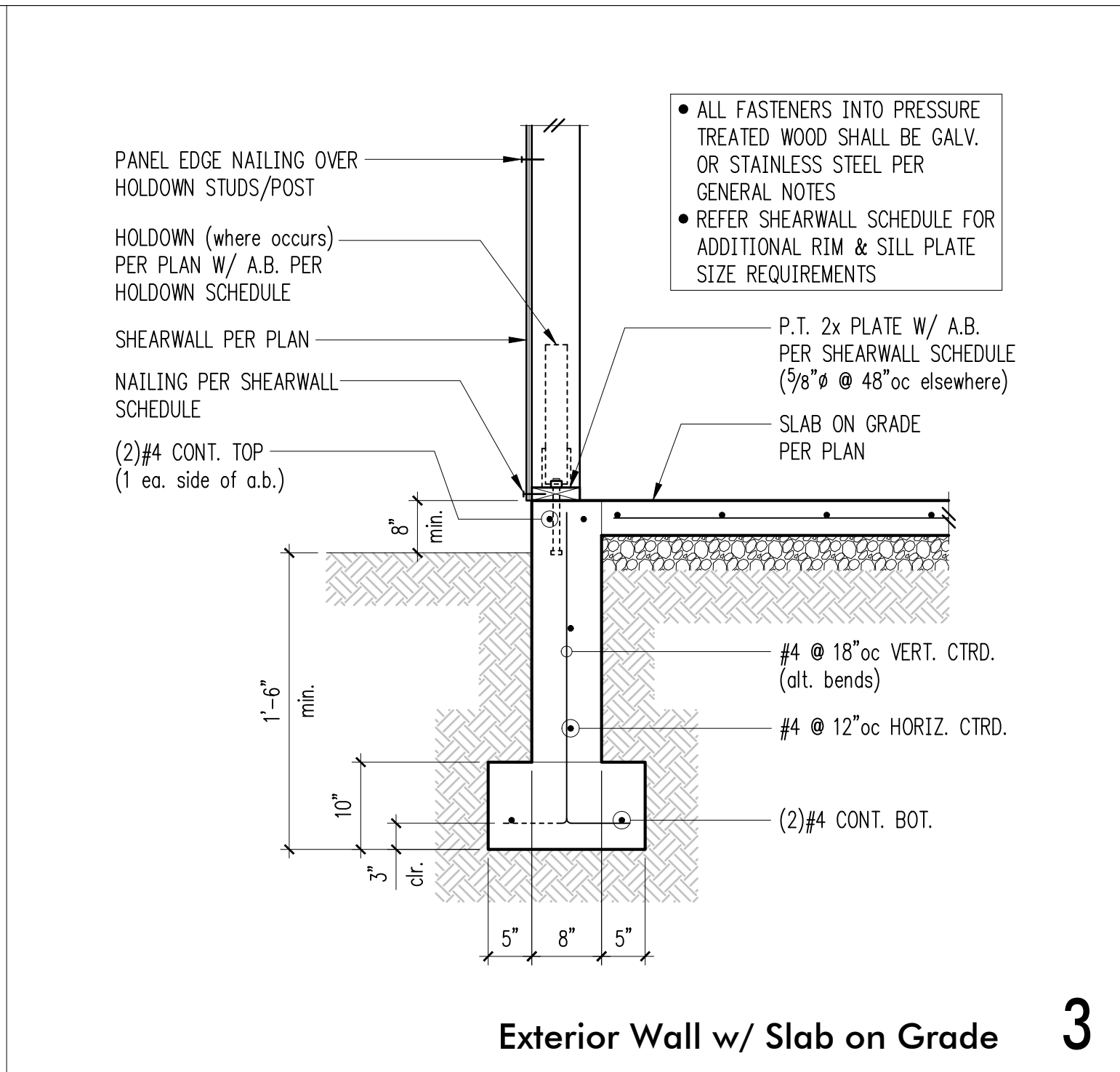
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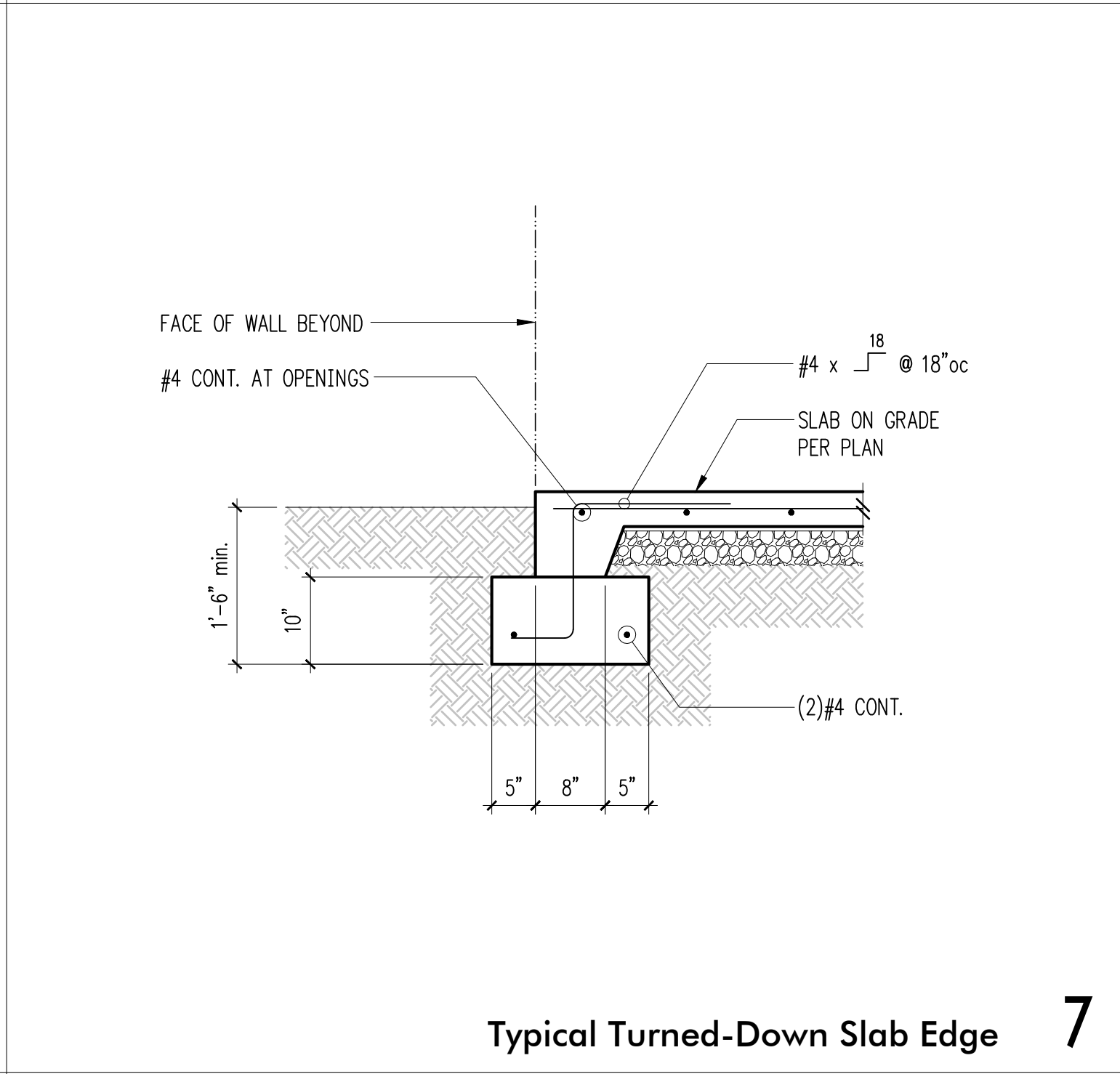
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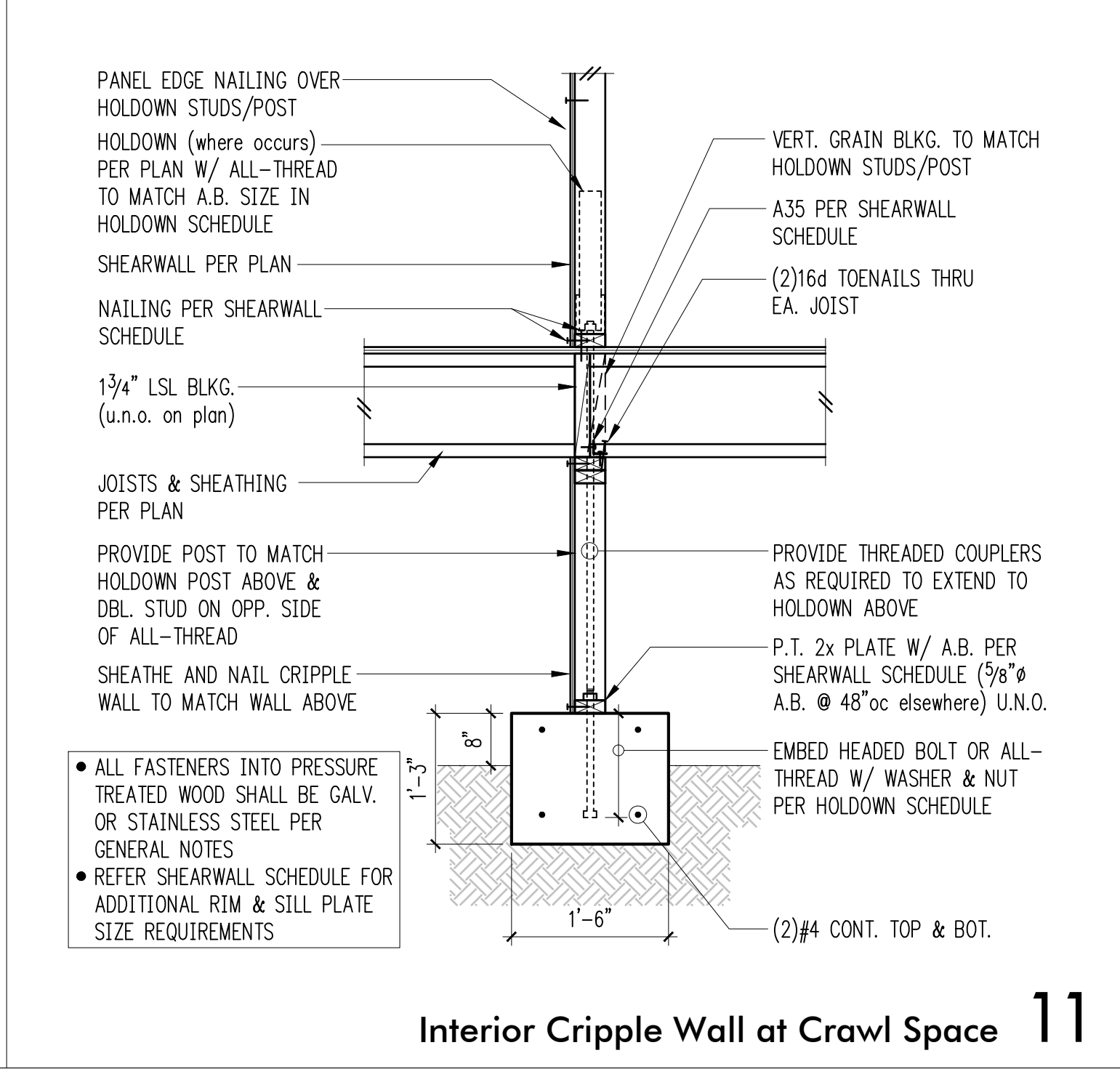
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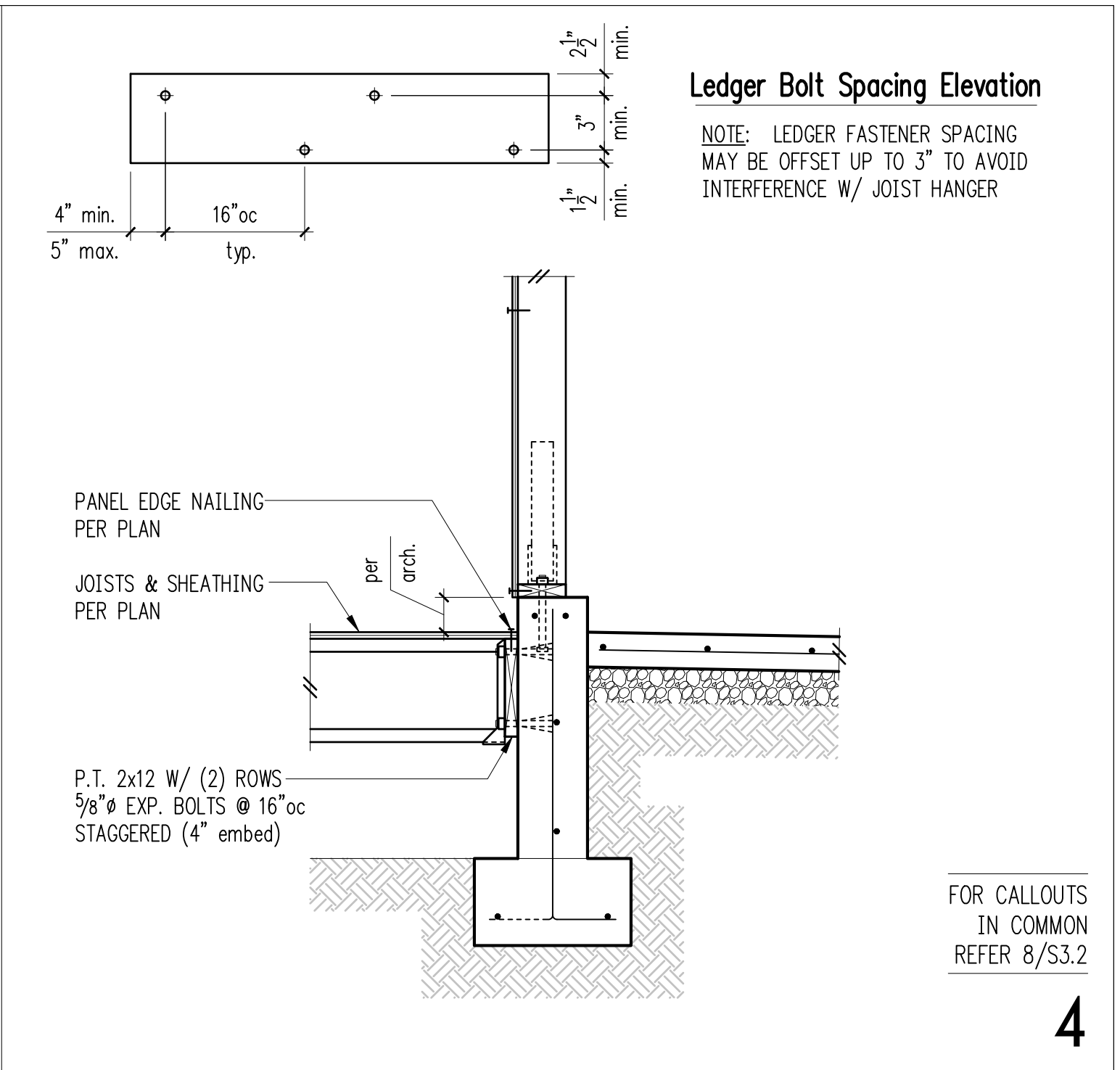
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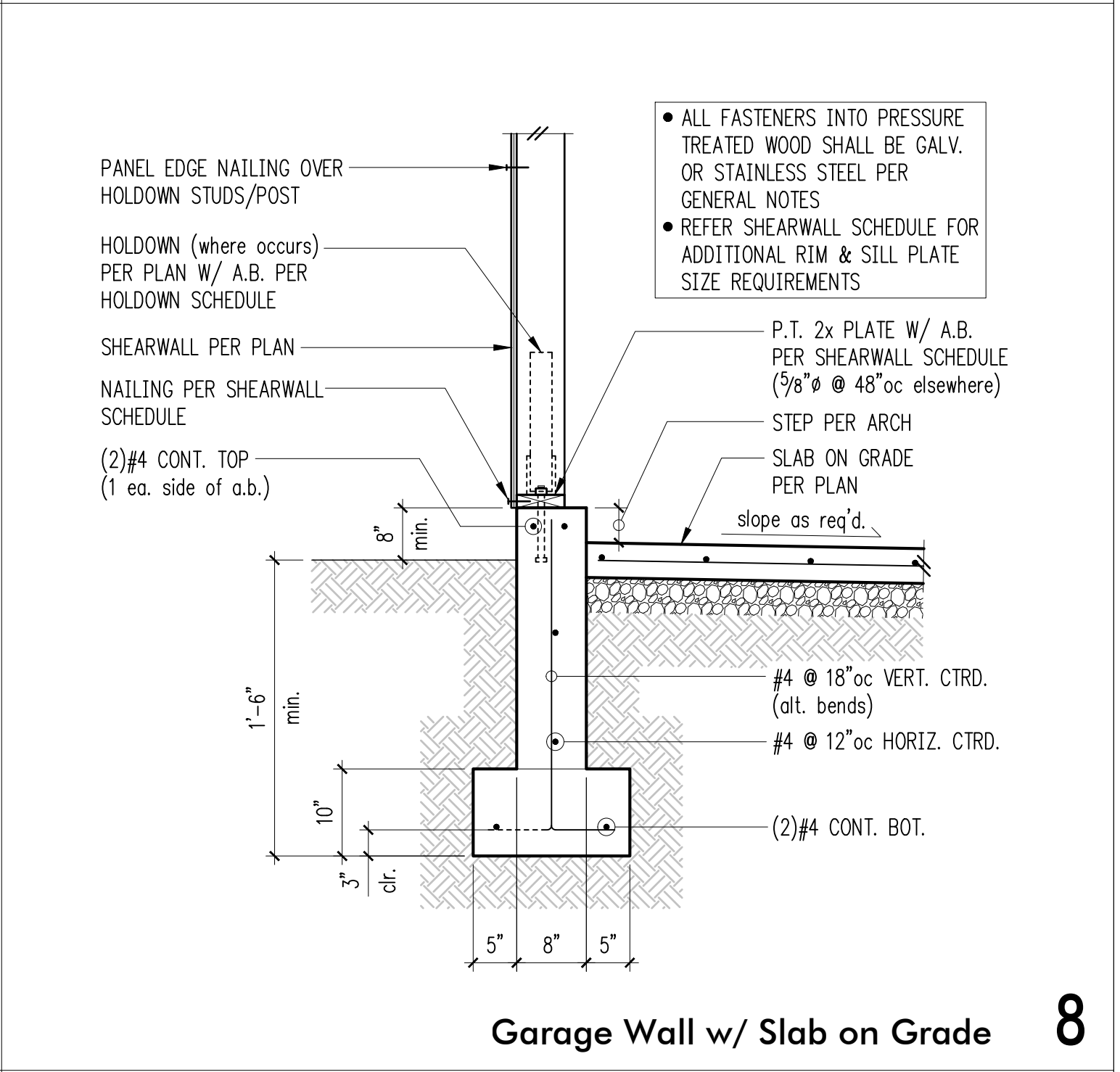
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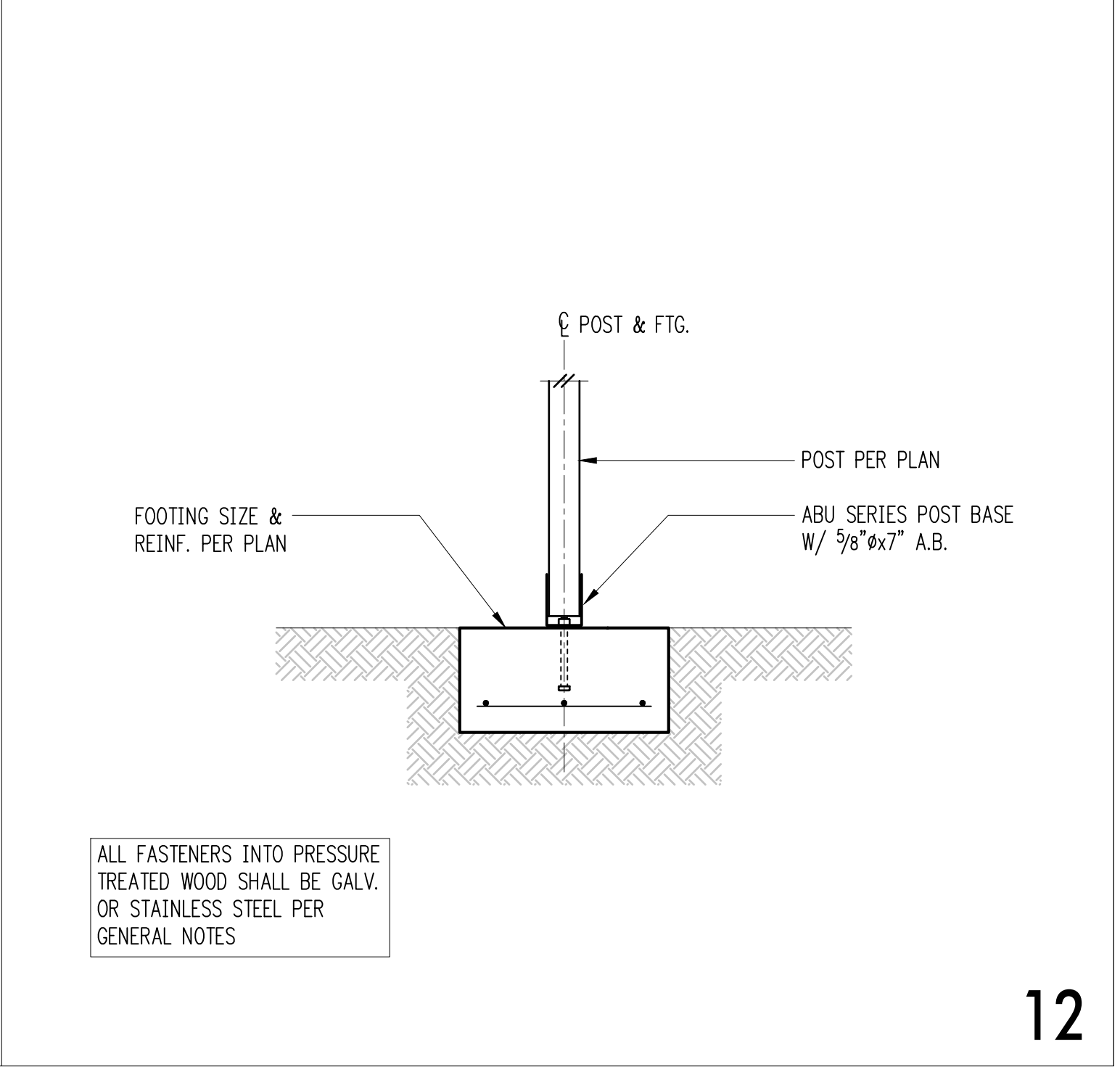
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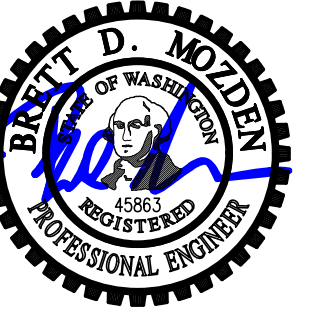
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8



12



DESIGN:	LAN
DRAWN:	NHD
CHECKED:	BDM
APPROVED:	BDM

FOR CALLOUTS IN COMMON REFER 8/S3.2

REVISIONS:

DPD:

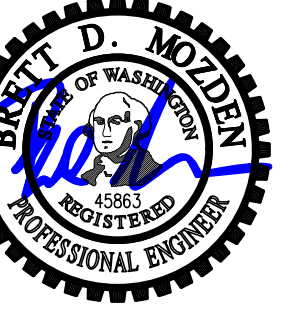
PROJECT TITLE:
Eckels Andersen
3413 72nd Pl. SE
Mercer Island, WA 98040

ARCHITECT:
Salt Studio LLC
66 Bell Street #1
Seattle, WA 98121
PH 206.948.2104

ISSUE:
PERMIT
SHEET TITLE:

Foundation Details

SCALE: 3/4" = 1'-0" U.N.O.
DATE: May 9, 2024
PROJECT NO: 10213-2023-02
SHEET NO:



REVISIONS:

DPD:

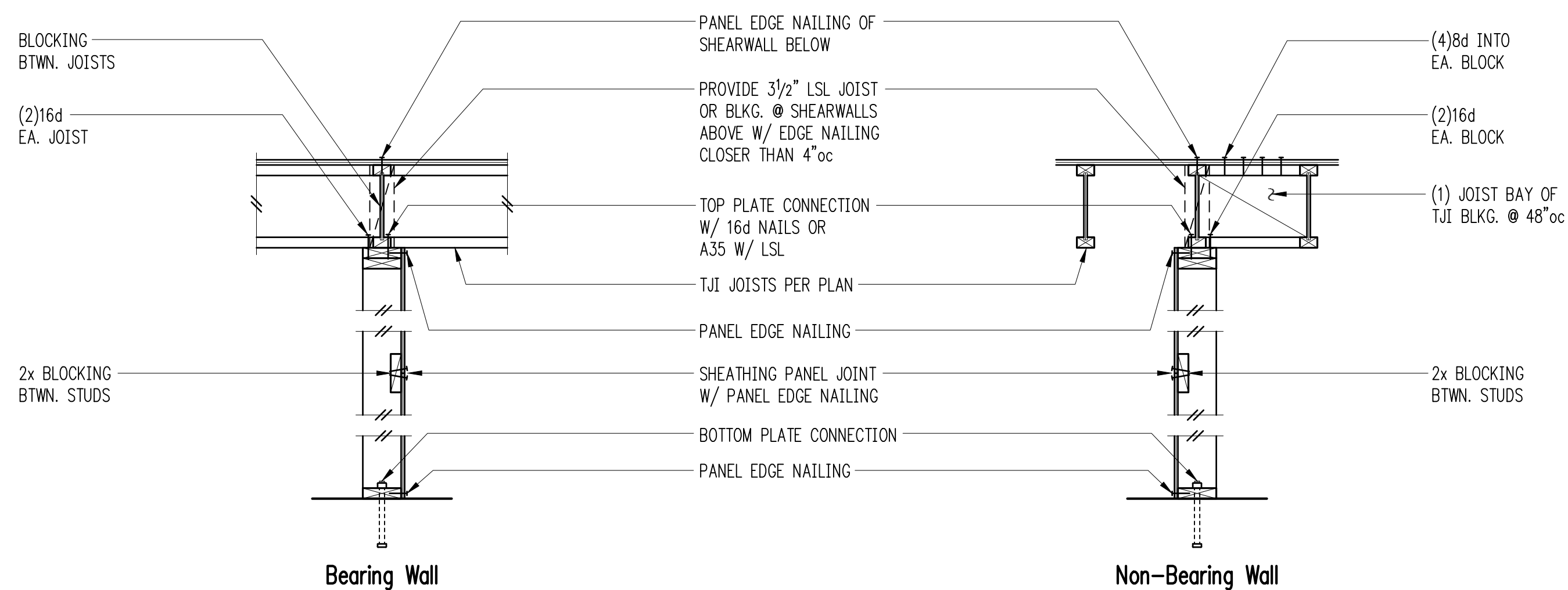
	A	B	C
PLAN VIEW			
SECTION			
# OF WOOD BMS (LVL)	2-1 3/4"	3-1 3/4"	4-1 3/4"
SDW22 SCREW SIZE	0.220x3	0.220x5	0.220x6
# OF SDW22 SCREWS	2	2	2
SPACING OF SDW22 SCREWS	12"OC	12"OC	12"OC

NOTES:
- MIN. SCREW END DISTANCE = 6"

NOTE: MAY USE SDS 1/4" @ CONTRACTORS OPTION

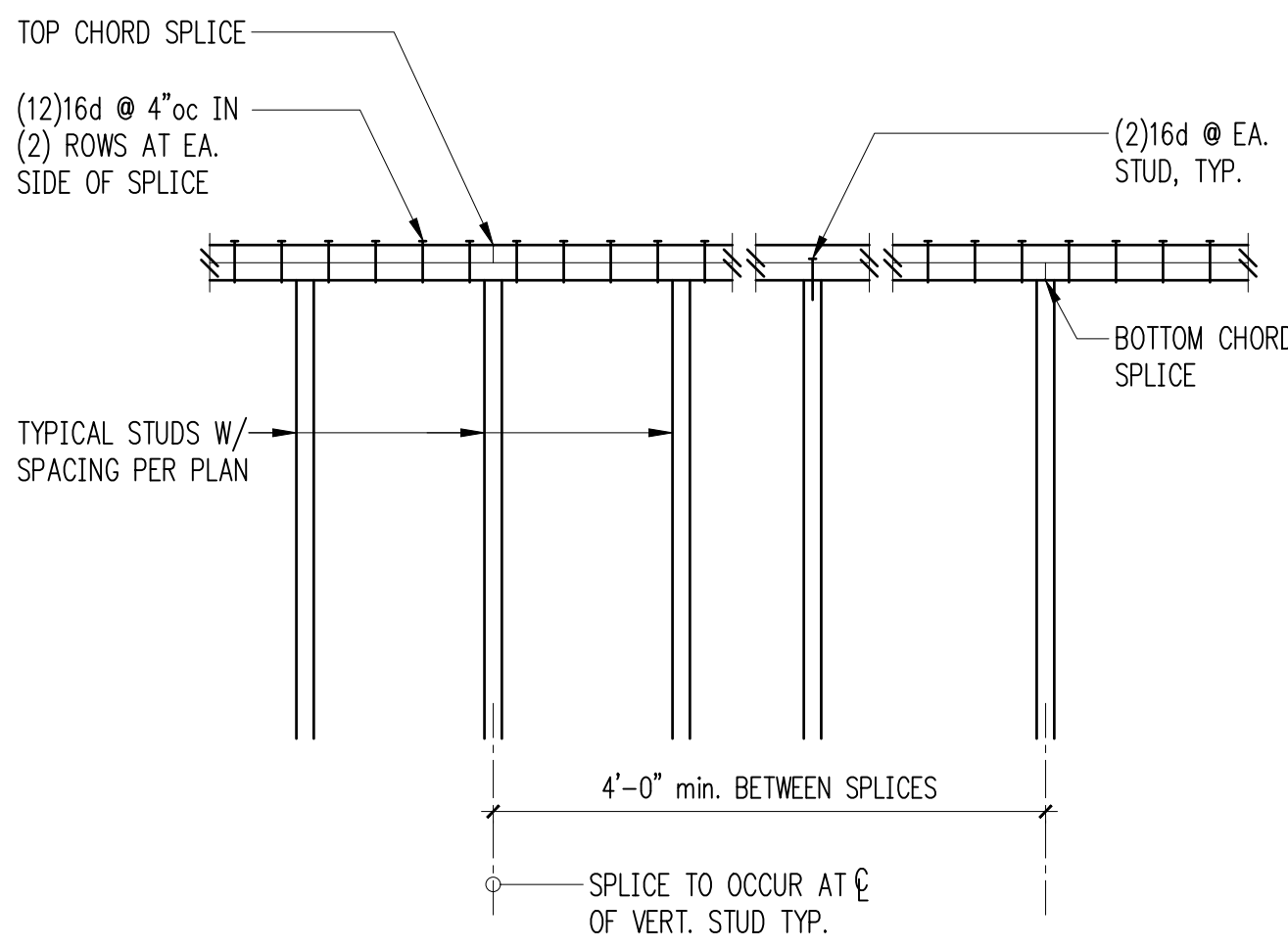
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Sistering Schedule for Multi Beams (SDWS) 2



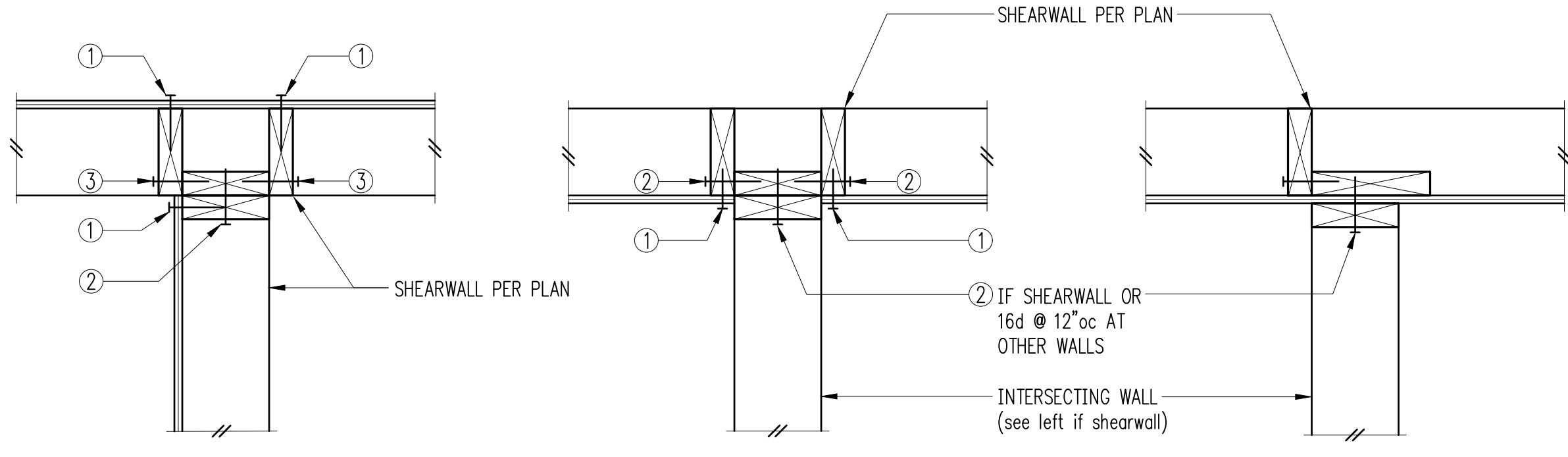
NOTE:
SEE SHEARWALL SCHEDULE FOR ALL NAILING AND CONNECTIONS, NOT OTHERWISE NOTED

Typical Shearwall Construction 4

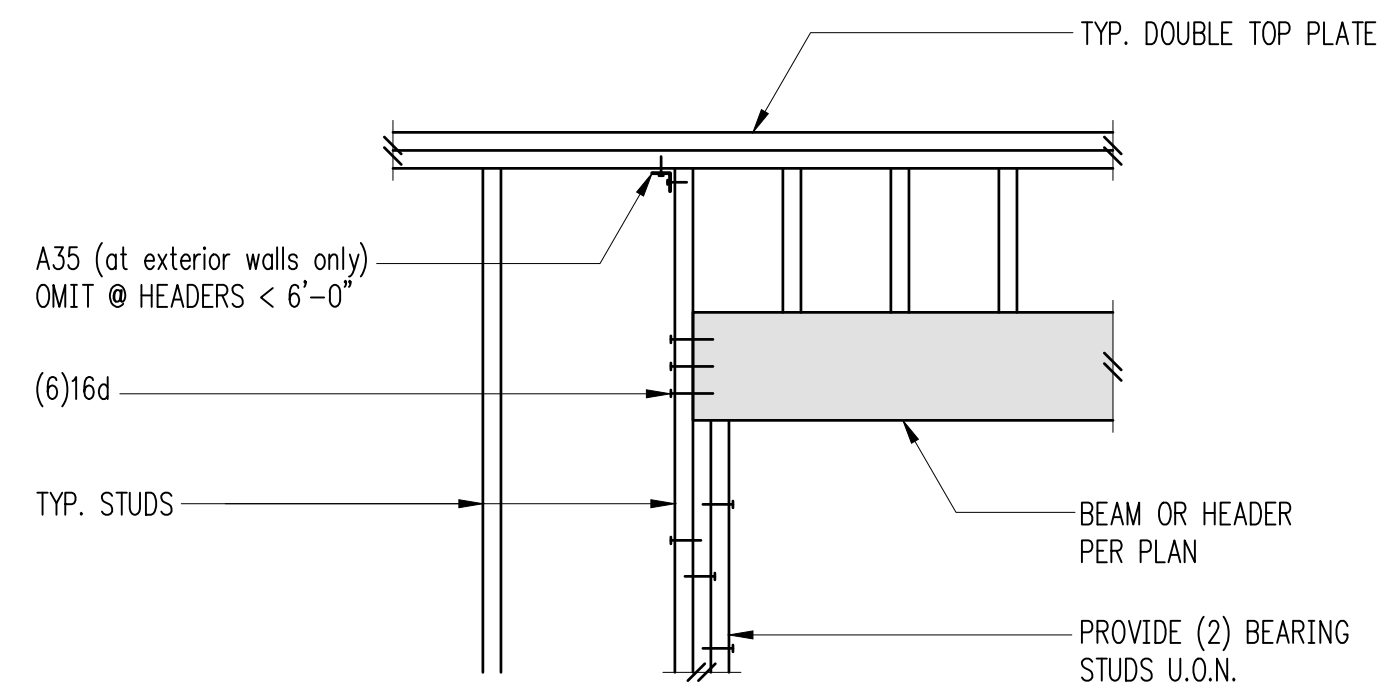


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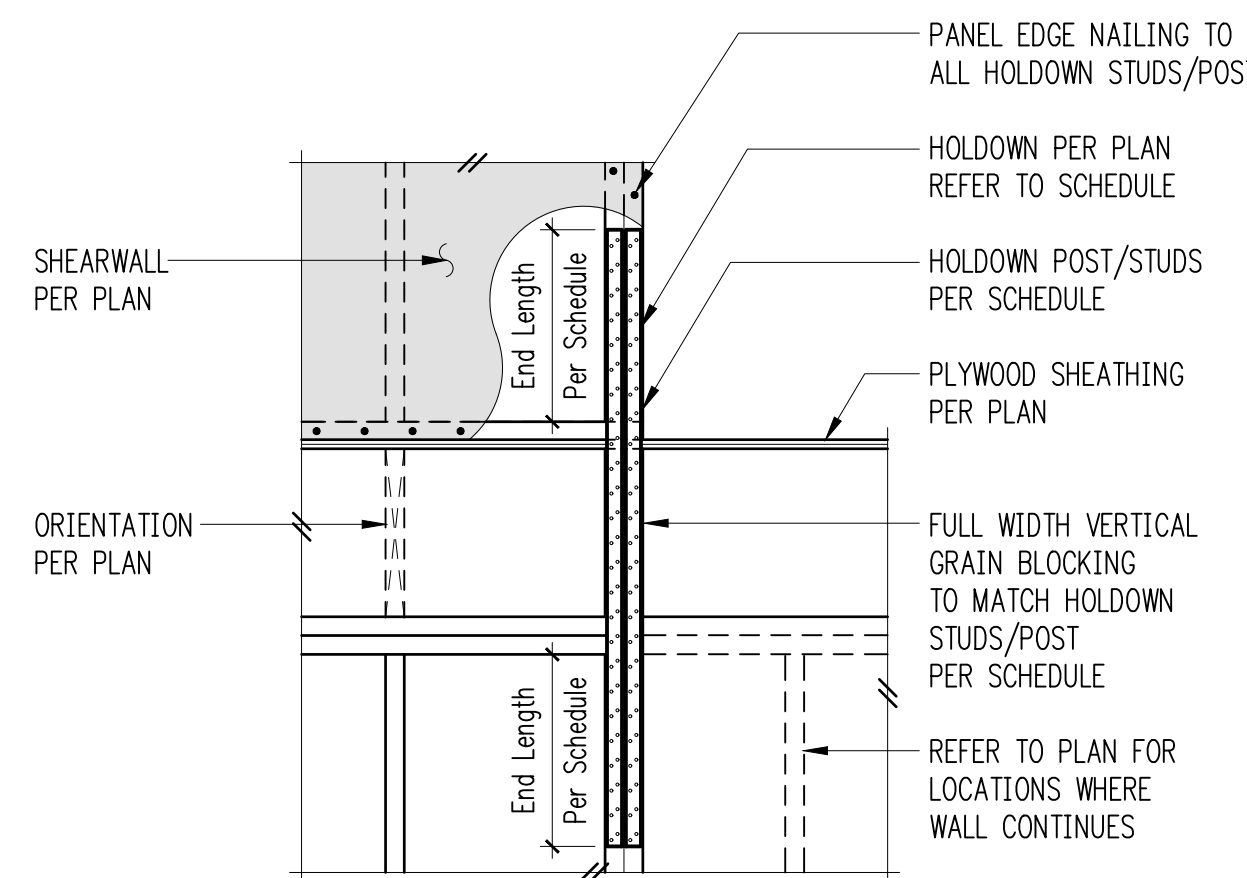
Typical Top Plate Splice 6



Typical Shearwall Intersections 8



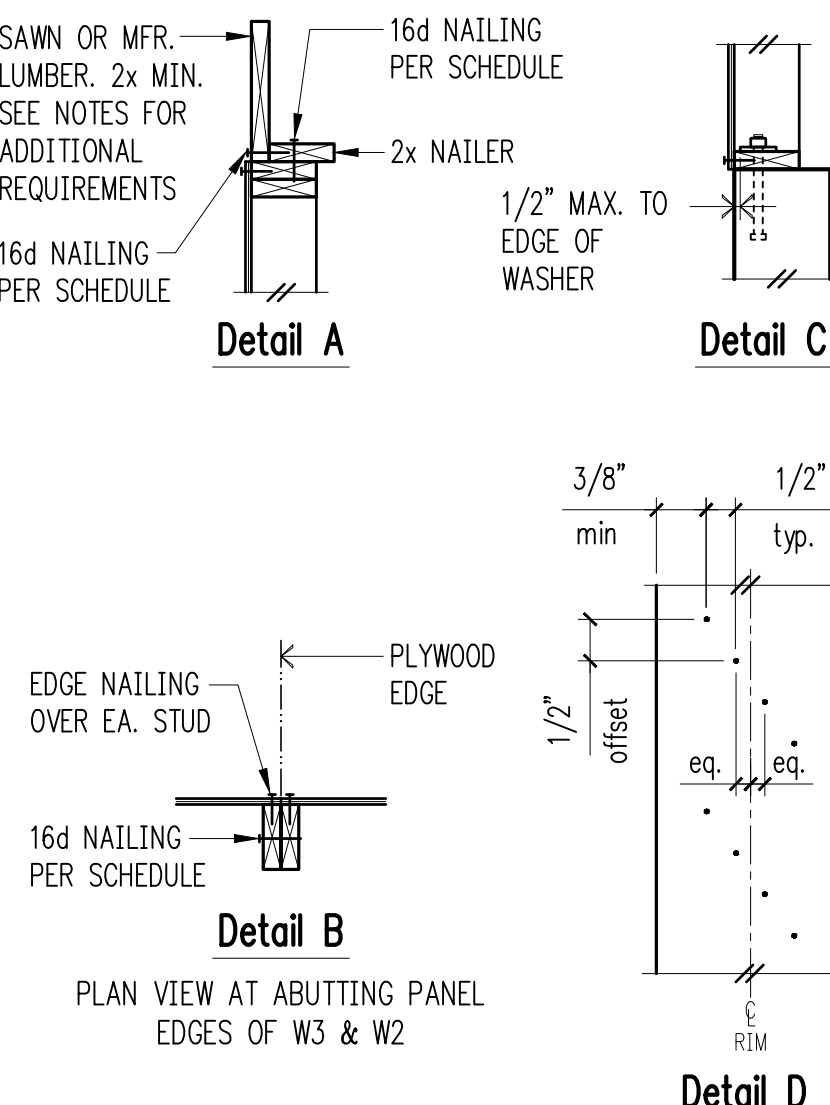
Typical Header Support w/2 Bearing Studs 9



Holdown Strap Schedule

Plan Mark	End Length	#Nails Ea. End Length	Holddown Studs/Post	
			if 2x4	if 2x6
CS14	1'-7"	(18) 8d	(2) 2x4	(2) 2x6
CMST14	2'-6"	(33) 10d	4x6	4x6
CMST12	3'-3"	(43) 10d	4x8	6x6

Typical Holdown Schedule 10

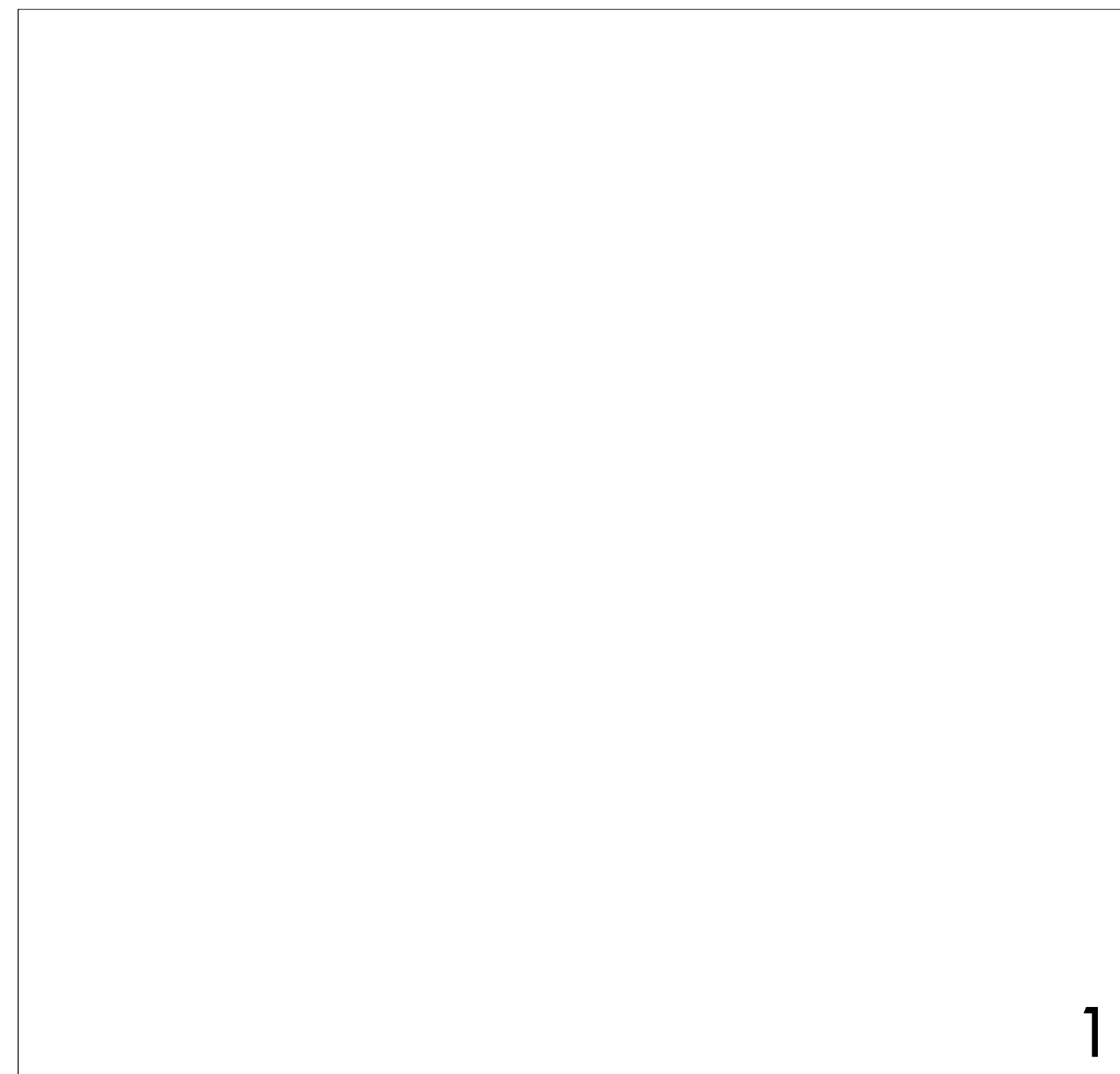


Shearwall Schedule ①②③④⑤⑥⑦

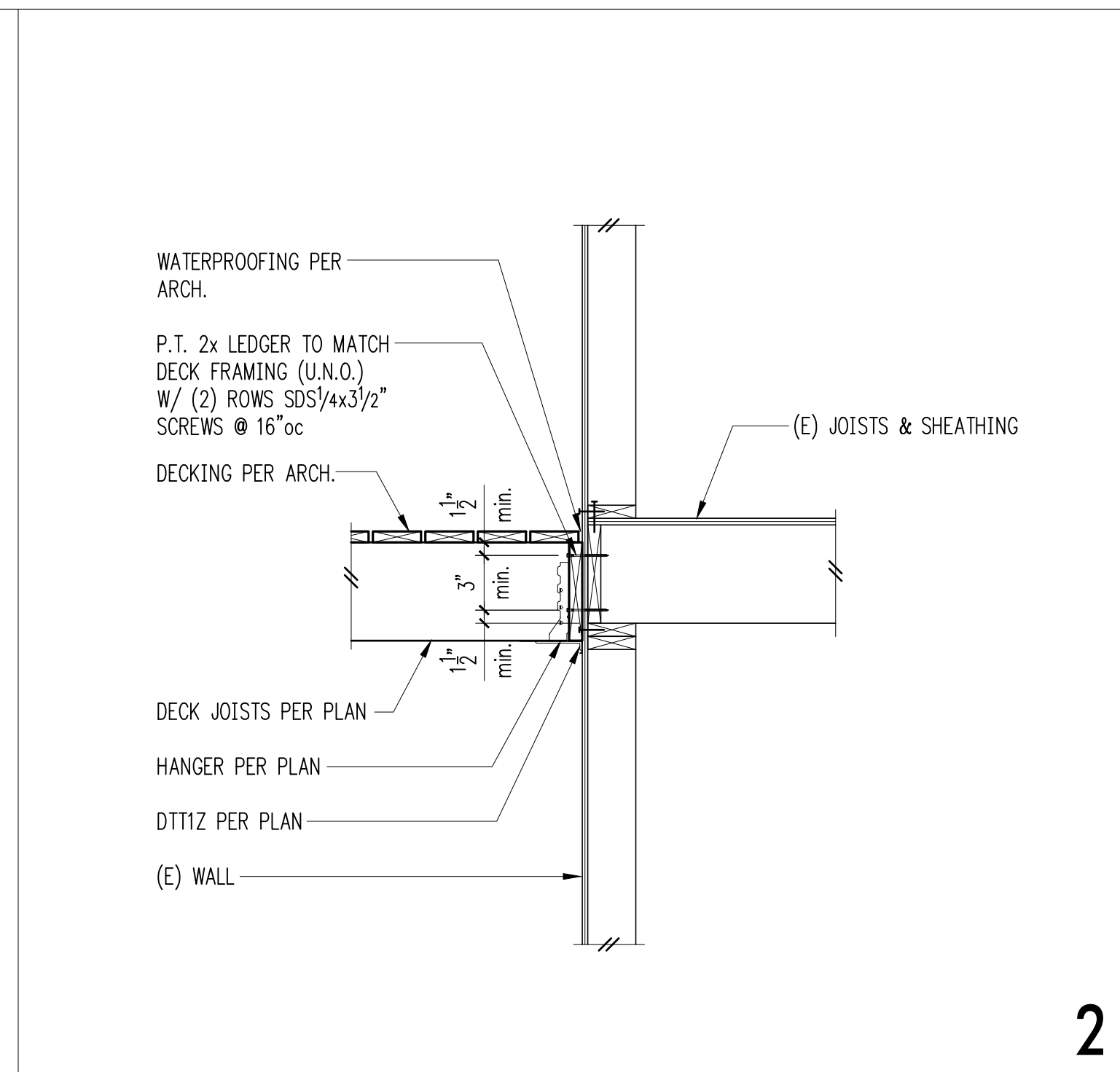
Mark	Sheathing	Panel Edge Nailing	Top Plate Connection		Base Plate Connection	
			if TJI	if Wood ⑤	at Wood ⑥	at Concrete
W6	15/32" CDX PLYWOOD	8d @ 6"oc	16d @ 6"oc	A35 @ 24"oc	16d @ 6"oc	5/8" @ A.B. @ 48"oc
W4	15/32" CDX PLYWOOD	8d @ 4"oc	16d @ 4"oc	A35 @ 16"oc	(2)rows 16d @ 6"oc	5/8" @ A.B. @ 32"oc
W3 ④	15/32" CDX PLYWOOD	8d @ 3"oc	(2)rows 16d @ 4"oc	A35 @ 12"oc	(2)rows 16d @ 6"oc	5/8" @ A.B. @ 24"oc
W2 ④	15/32" CDX PLYWOOD	8d @ 2"oc	(2)rows 16d @ 4"oc	A35 @ 9"oc	(2)rows 16d @ 4"oc ①	5/8" @ A.B. @ 16"oc

- ① BLOCK PANEL EDGES WITH 2x MIN. LAID FLAT AND NAIL PANELS TO INTERMEDIATE SUPPORTS WITH 8d @ 12"oc.
- ② 8d NAILS SHALL BE 0.131"ø x 2 1/2" (common) - 16d NAILS SHALL BE 0.135"ø x 3 1/2" (box)
- ③ EMBED ANCHOR BOLTS AT LEAST 7". DRILLED AND EPOXIED THREADED ROD MAY BE SUBSTITUTED FOR ANCHOR BOLTS WITH 6" EMBEDMENT. TITEN HD SCREW ANCHORS MAY BE SUBSTITUTED FOR ANCHOR BOLTS W/ 4" EMBEDMENT. ALL BOLTS SHALL HAVE 3" x 3/4" MIN. PLATE WASHERS. PLATE WASHERS SHALL EXTEND TO WITHIN 1/2" OF THE EDGE OF THE BOTTOM PLATE ON THE SIDE WITH SHEATHING. SEE DETAIL C.
- ④ 3x STUDS OR DOUBLE STUDS NAILED TOGETHER W/ BASE PLATE NAILING ARE REQUIRED AT ABUTTING PANEL EDGES OF W3 AND W2. SEE DETAIL B. WHERE 3x STUDS ARE USED FOR W2, STAGGER NAILS AT ADJOINING PANEL EDGES.
- ⑤ TWO STUDS MINIMUM ARE REQUIRED AT EACH END OF ALL SHEARWALLS AND ALL END STUDS SHALL RECEIVE PANEL EDGE NAILING. SEE PLANS AND HOLDOWN SCHEDULE FOR ALTERNATE REQUIREMENTS.
- ⑥ ALL EXTERIOR WALLS SHALL BE W6, UNLESS NOTED OTHERWISE.
- ⑦ 7/16" O.S.B. MAY BE SUBSTITUTED FOR 15/32" CDX.
- ⑧ LTP4's (HORIZONTAL ORIENTATION) W/ 8d COMMON MAY BE SUBSTITUTED FOR A35's AT CONTRACTORS OPTION.
- ⑨ A 2x NAILER ATTACHED W/ BASE PLATE NAILING PER DETAIL A MAY BE SUBSTITUTED FOR A35's AT CONTRACTORS OPTION.
- ⑩ AT MULTI-ROW NAILING, MINIMUM OFFSET BETWEEN ROWS AND ROW SPACING 1/2", SEE DETAIL D.
- ⑪ PROVIDE (3) ROWS 16d @ 6"oc AT LVL RIMS.

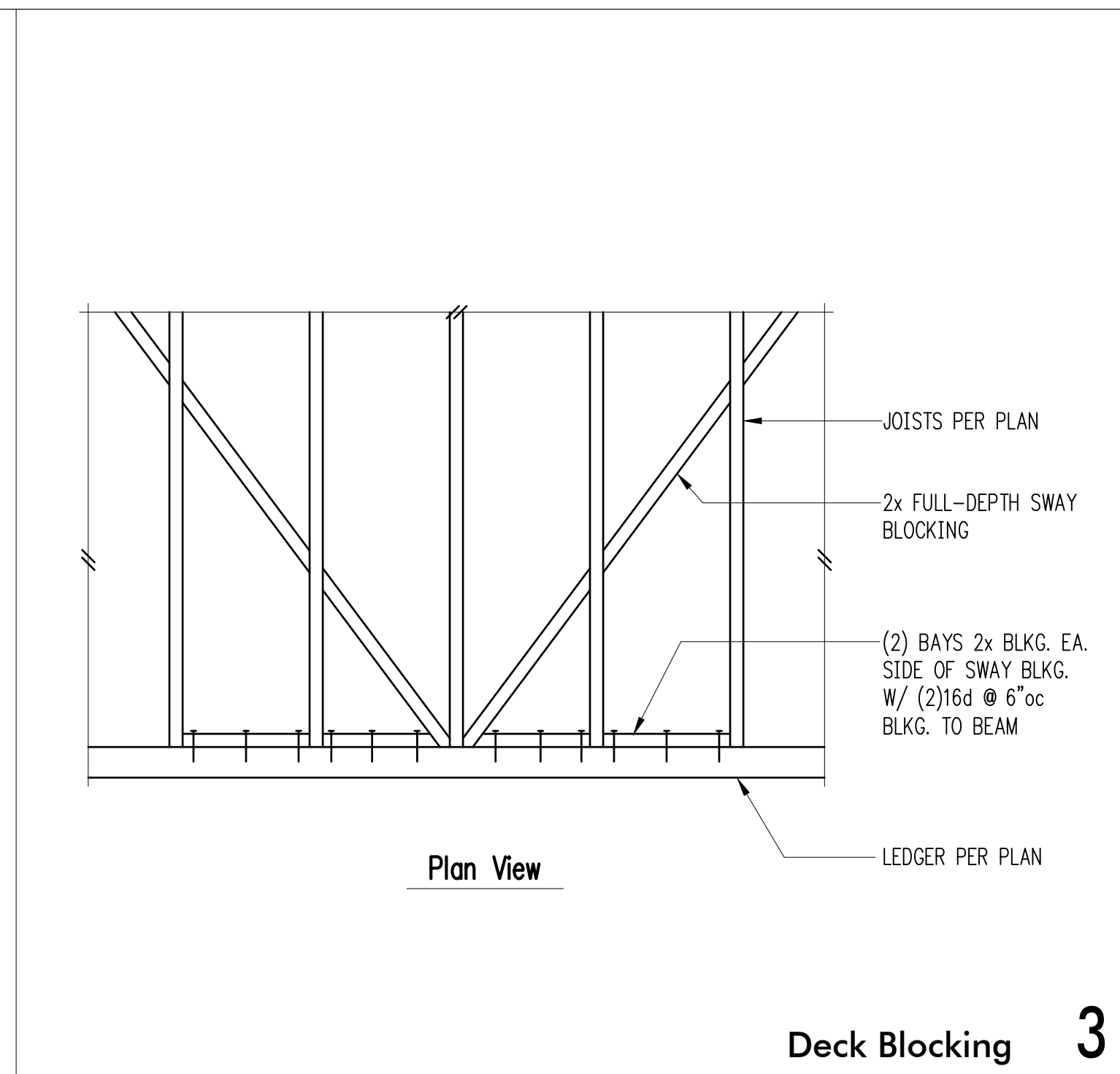
Shearwall Schedule 12



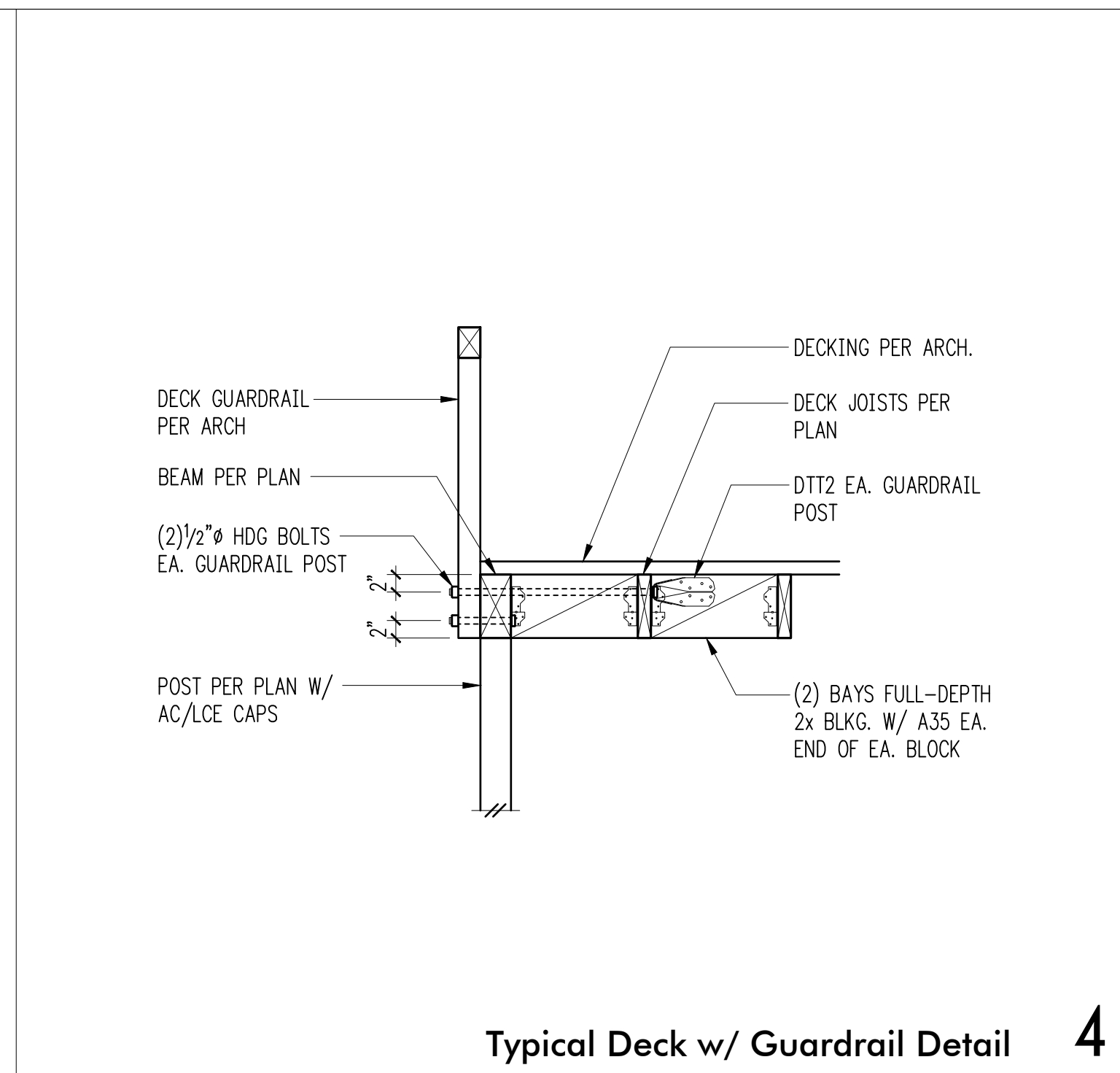
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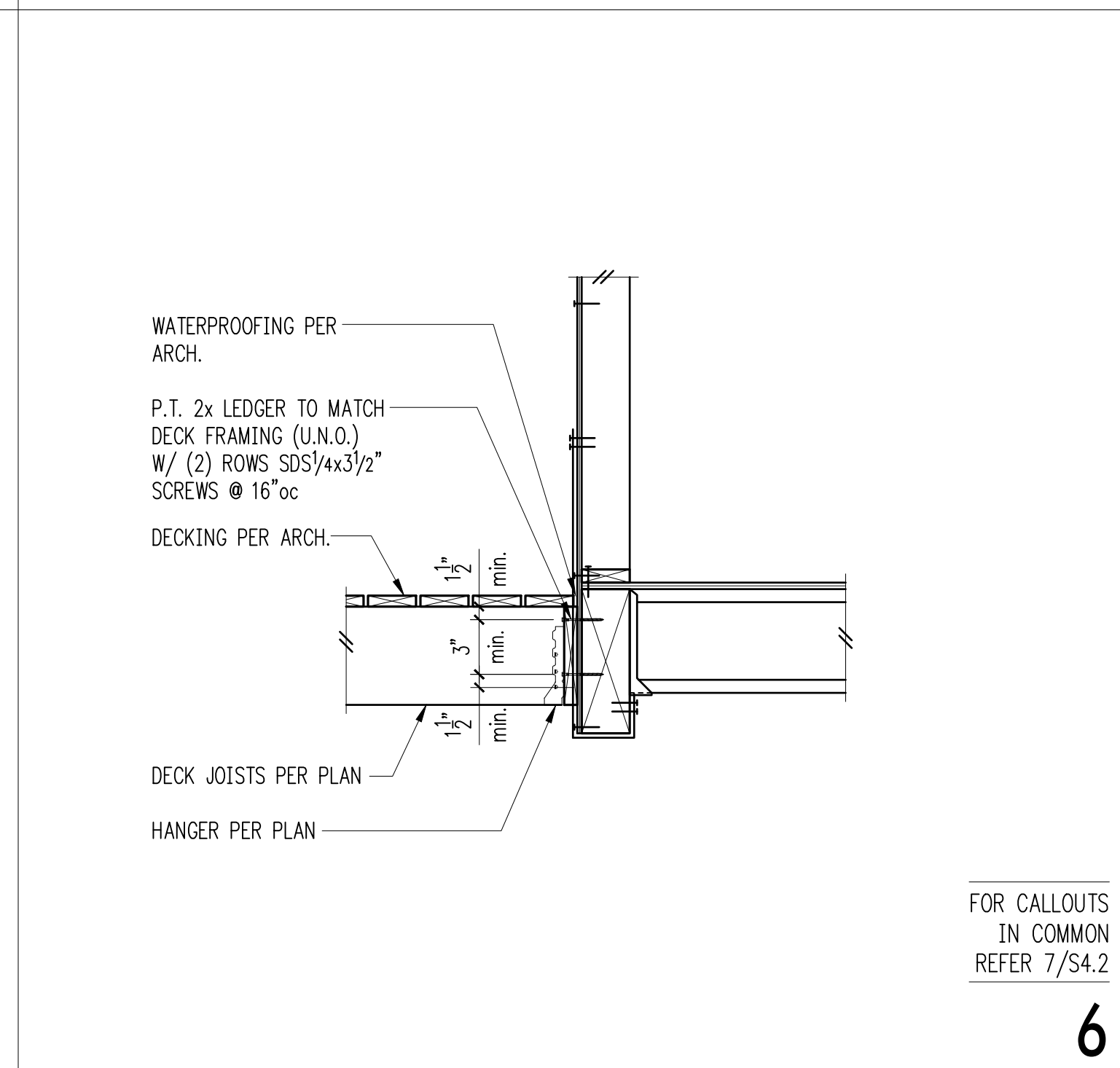
Deck Blocking 3



Typical Deck w/ Guardrail Detail 4

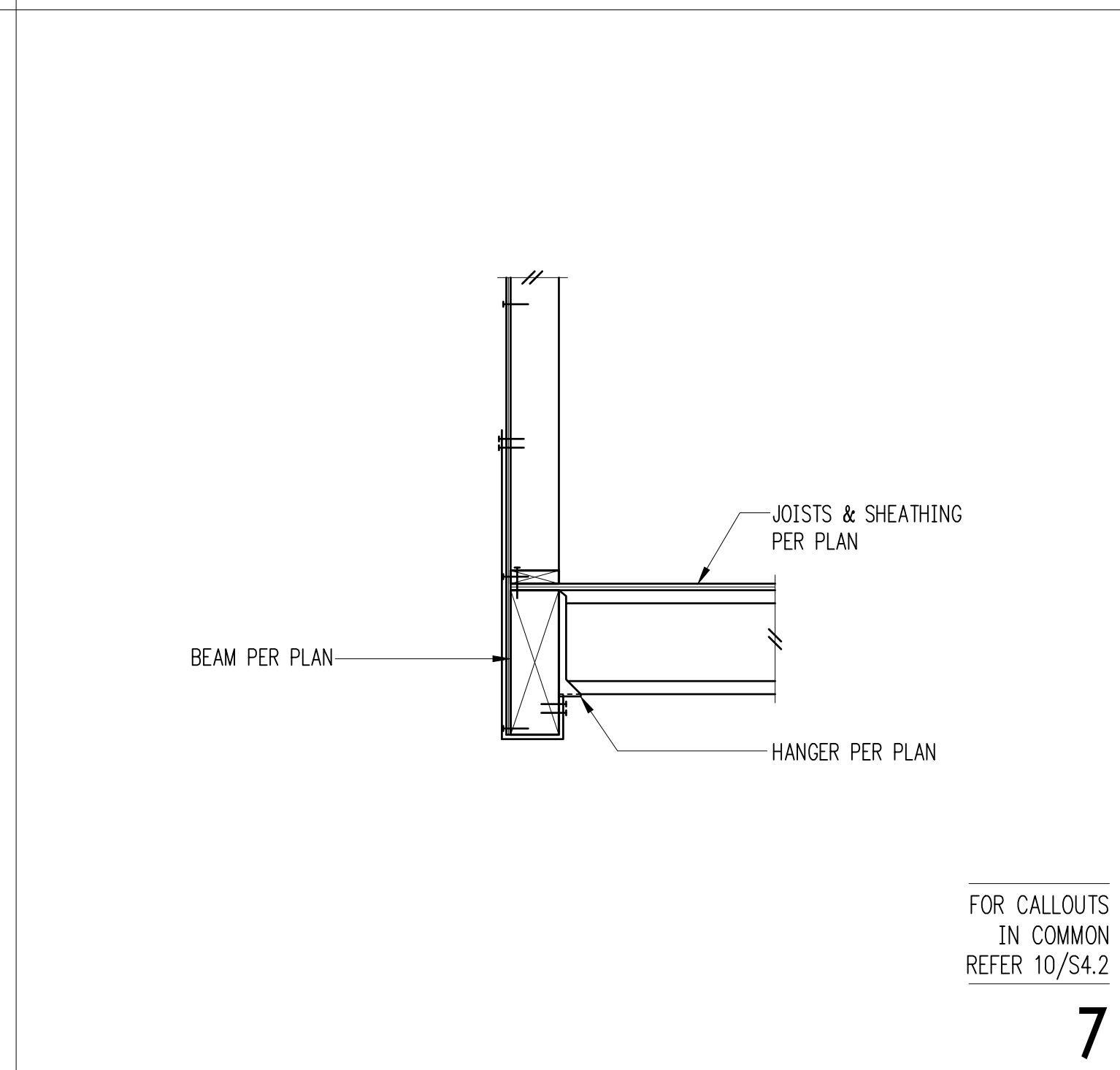


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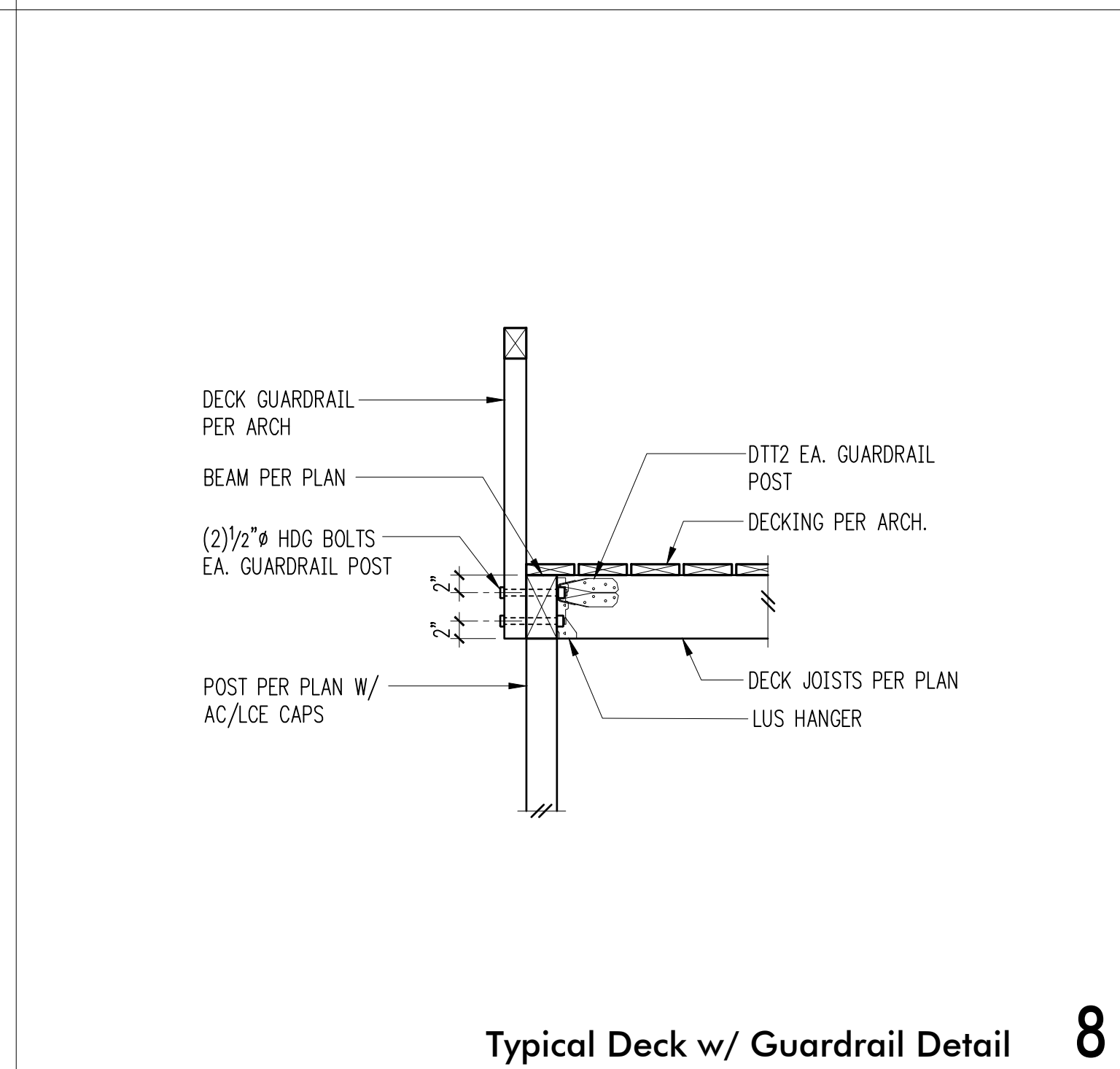
FOR CALLOUTS IN COMMON REFER 7/S4.2

6



FOR CALLOUTS IN COMMON REFER 10/S4.2

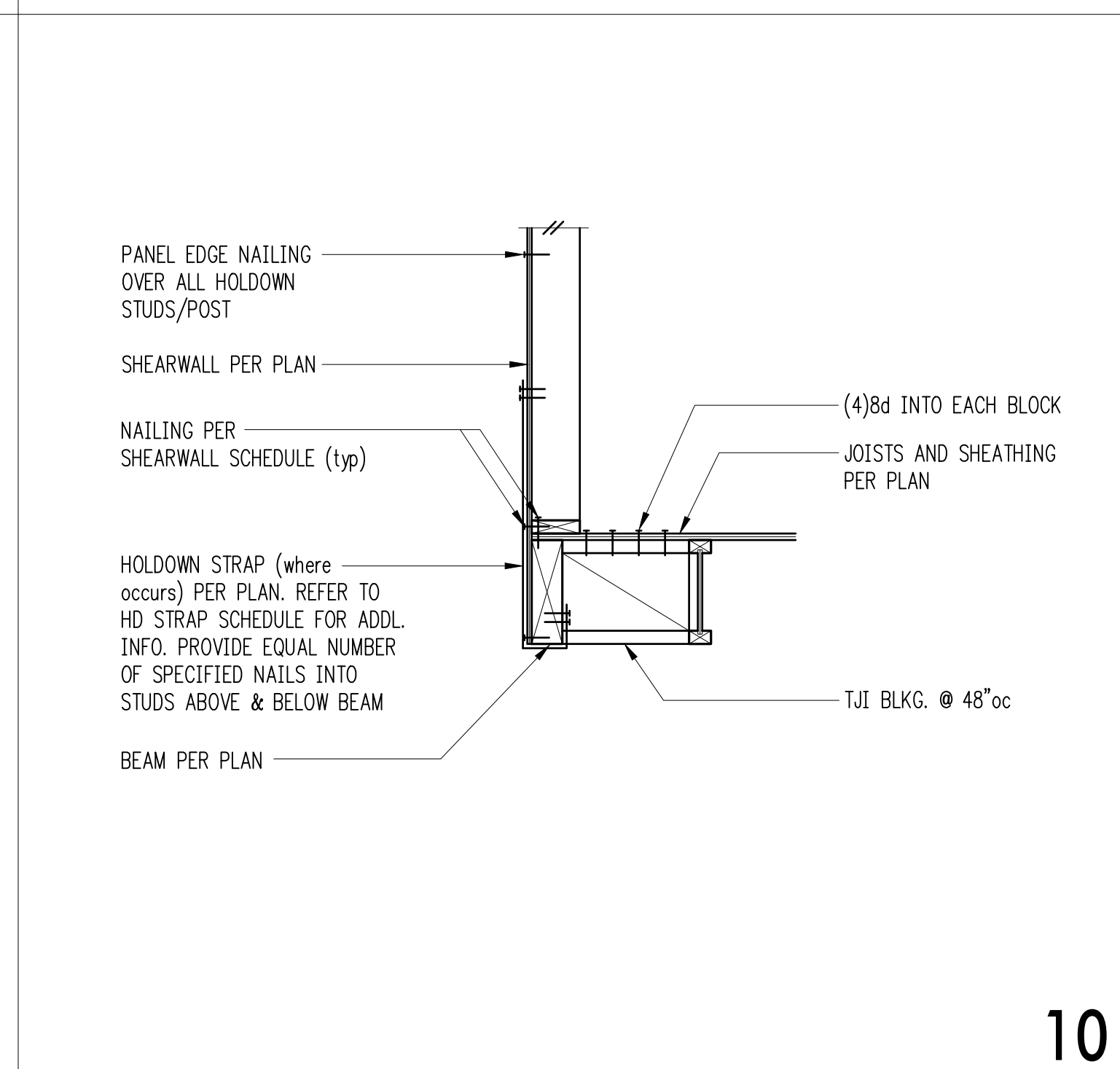
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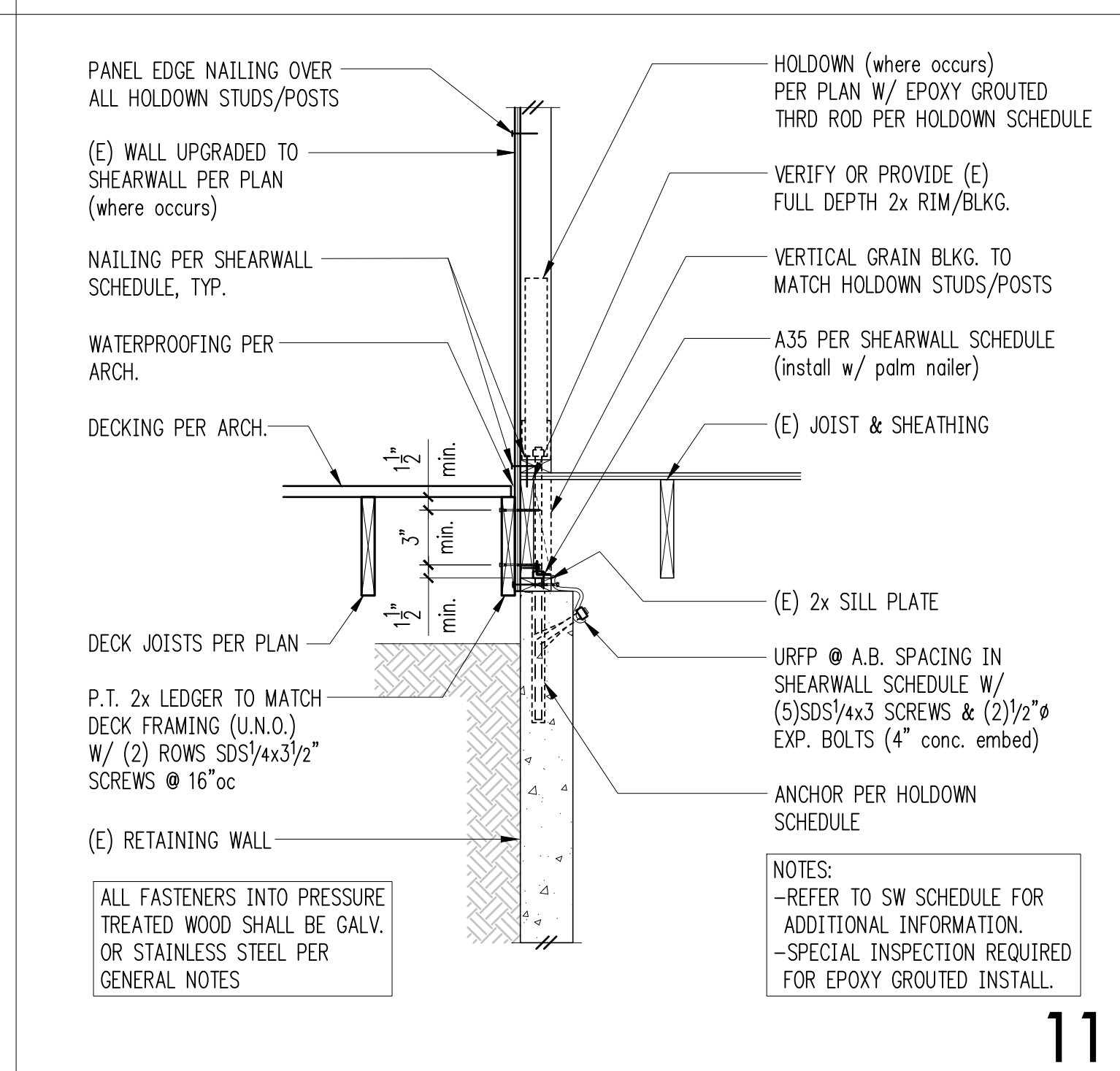
Typical Deck w/ Guardrail Detail 8



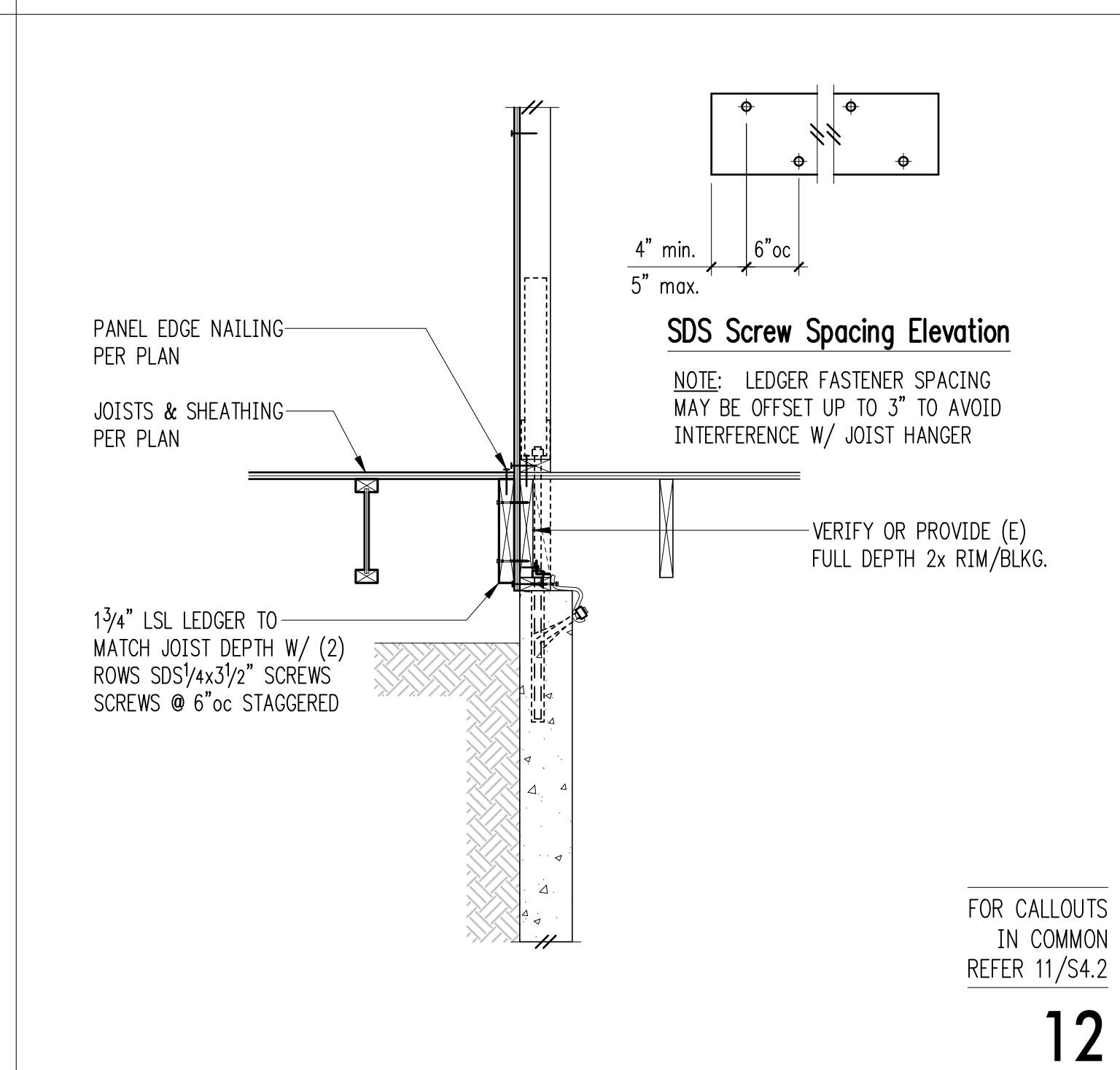
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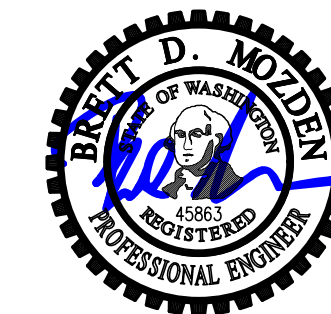


11



FOR CALLOUTS IN COMMON REFER 11/S4.2

12



DESIGN: LAN
DRAWN: NHD
CHECKED: BDM
APPROVED: BDM

REVISIONS:

NO.	DESCRIPTION	DATE

DPD:

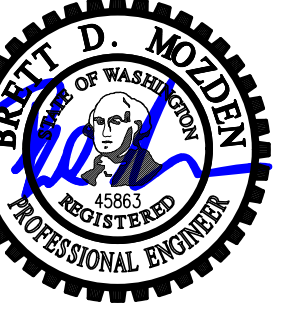
PROJECT TITLE:
Eckels Andersen
3413 72nd Pl. SE
Mercer Island, WA 98040

ARCHITECT:
Salt Studio LLC
66 Bell Street #1
Seattle, WA 98121
PH 206.948.2104

ISSUE:
PERMIT
SHEET TITLE:

Wood Framing Details
SCALE: 3/4" = 1'-0" U.N.O.
DATE: May 9, 2024
PROJECT NO: 10213-2023-02
SHEET NO:

S4.2



DESIGN: LAN
 DRAWN: NHD
 CHECKED: BDM
 APPROVED: BDM

REVISIONS:

DPD:

PROJECT TITLE:
Eckels Andersen
 3413 72nd Pl. SE
 Mercer Island, WA 98040

ARCHITECT:
Salt Studio LLC
 66 Bell Street #1
 Seattle, WA 98121
 PH 206.948.2104

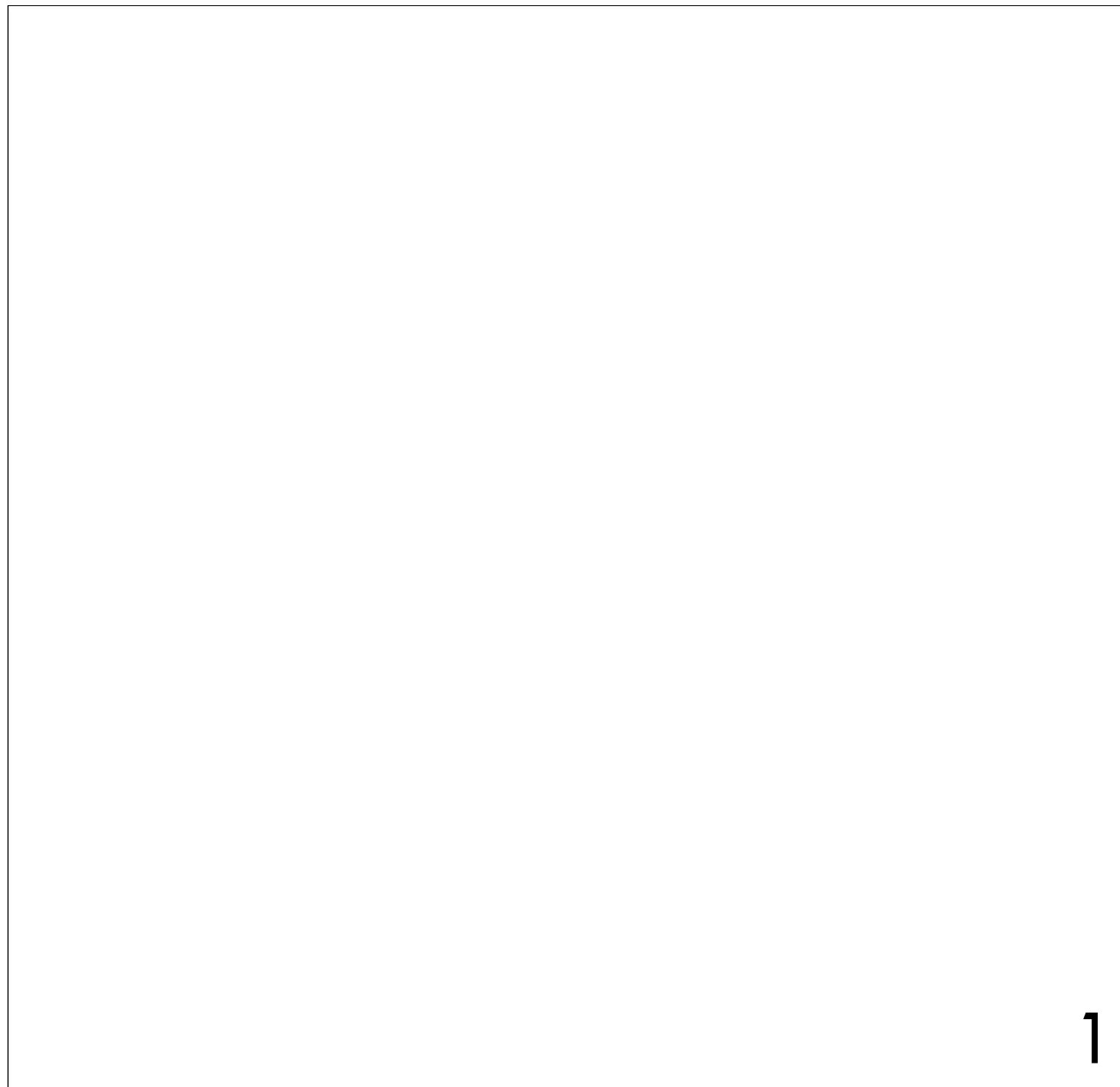
ISSUE:
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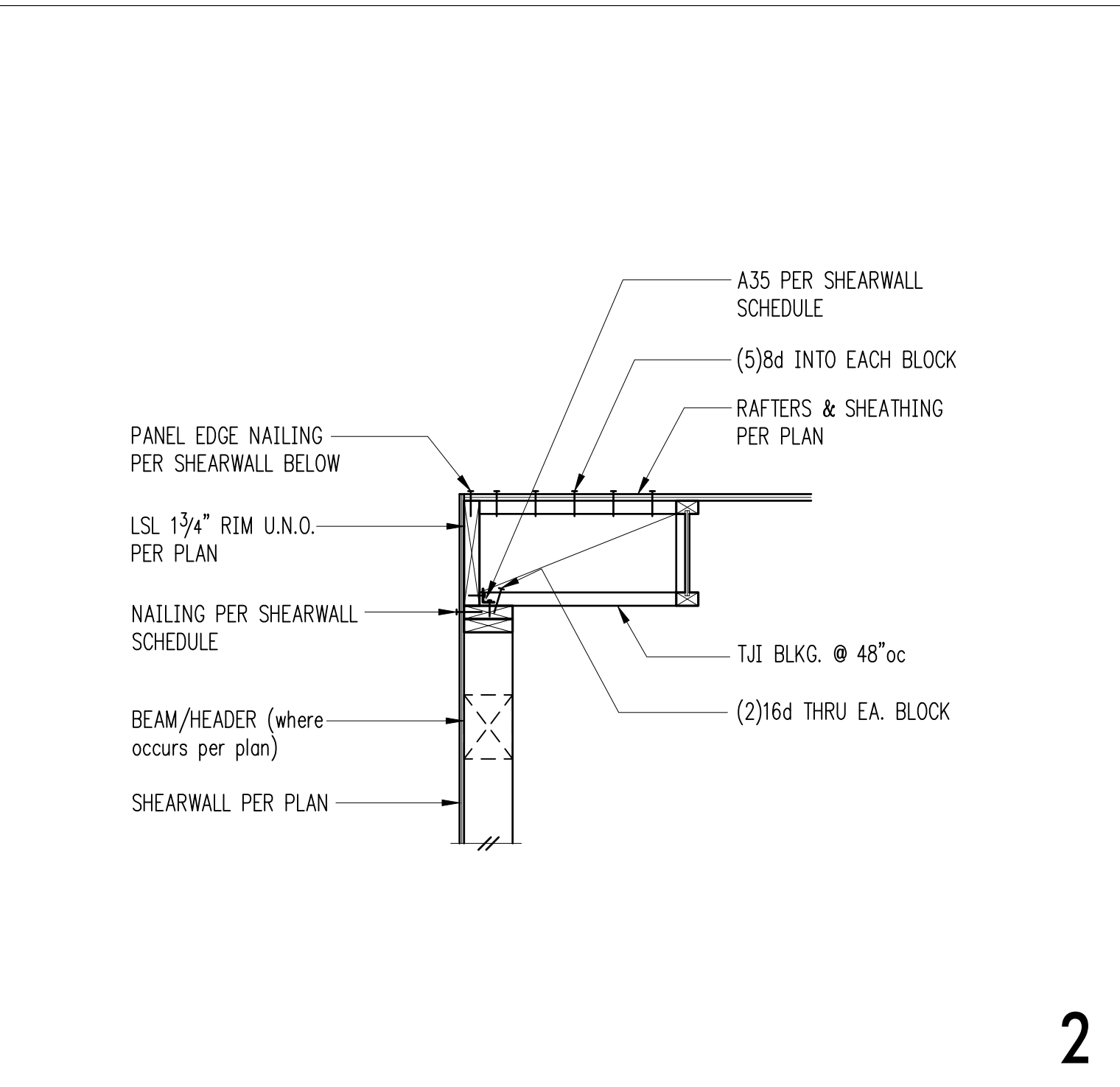
Wood Framing Details

SCALE: 3/4" = 1'-0" U.N.O.
 DATE: May 9, 2024
 PROJECT NO: 10213-2023-02
 SHEET NO:

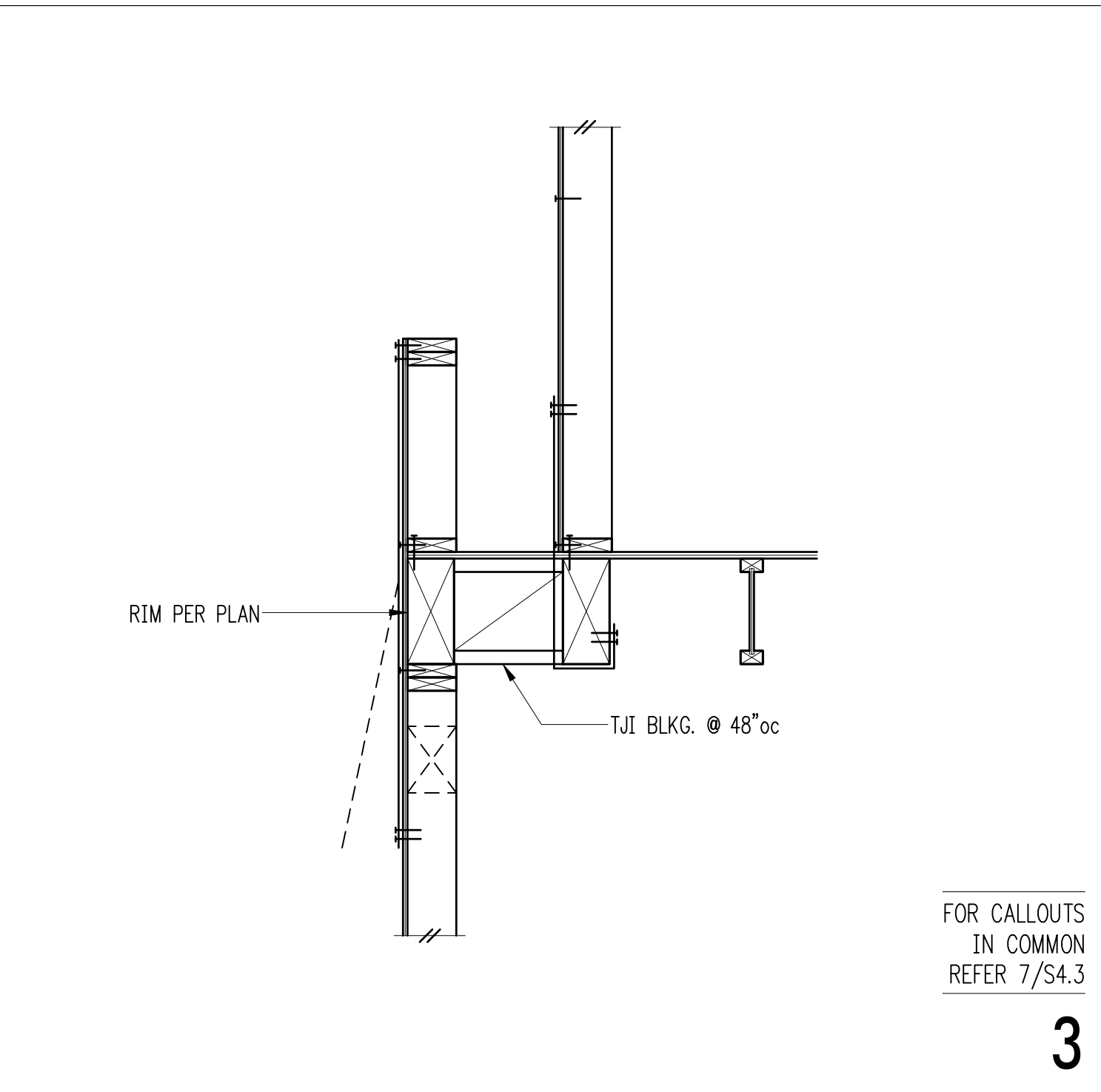
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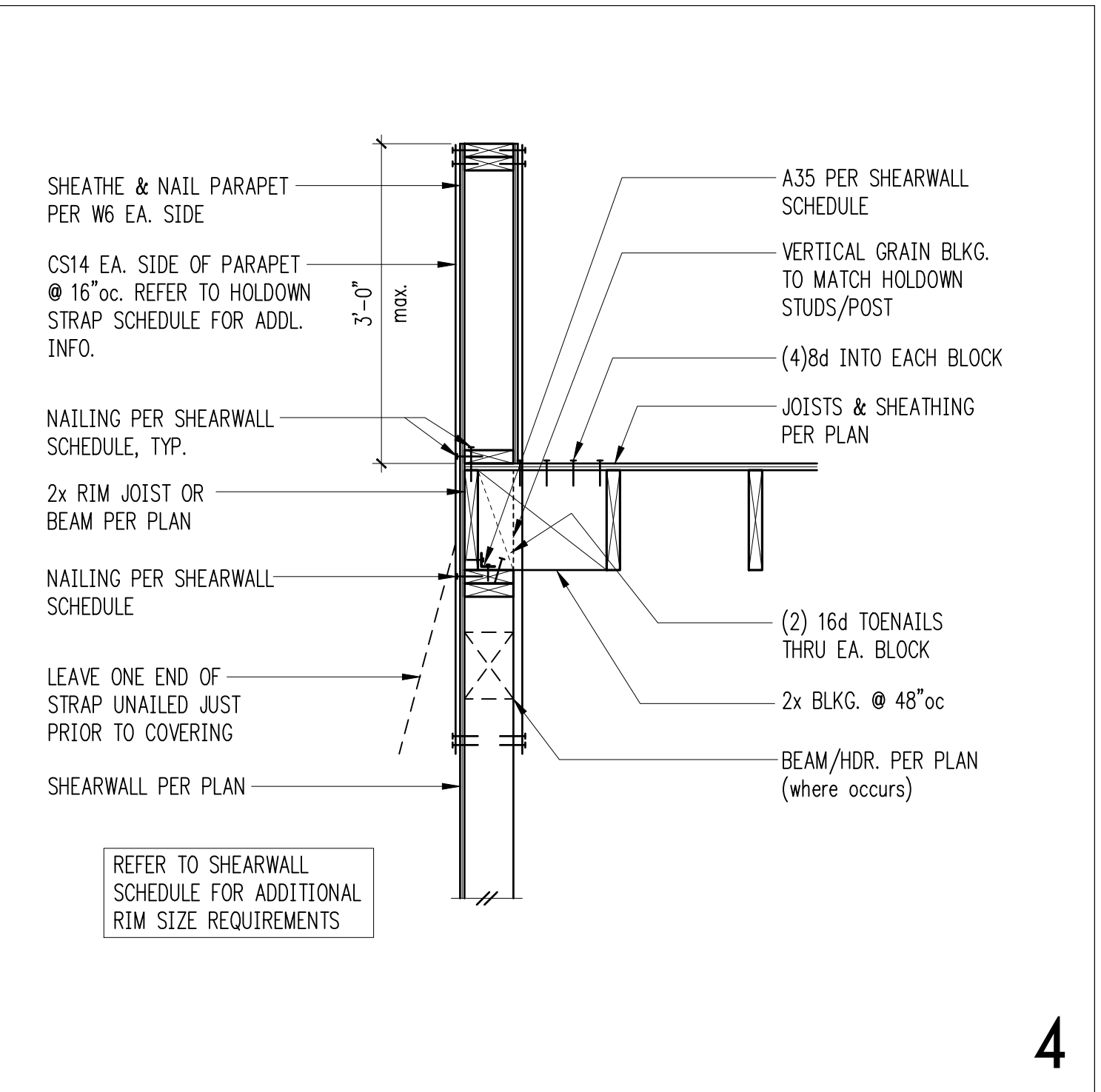
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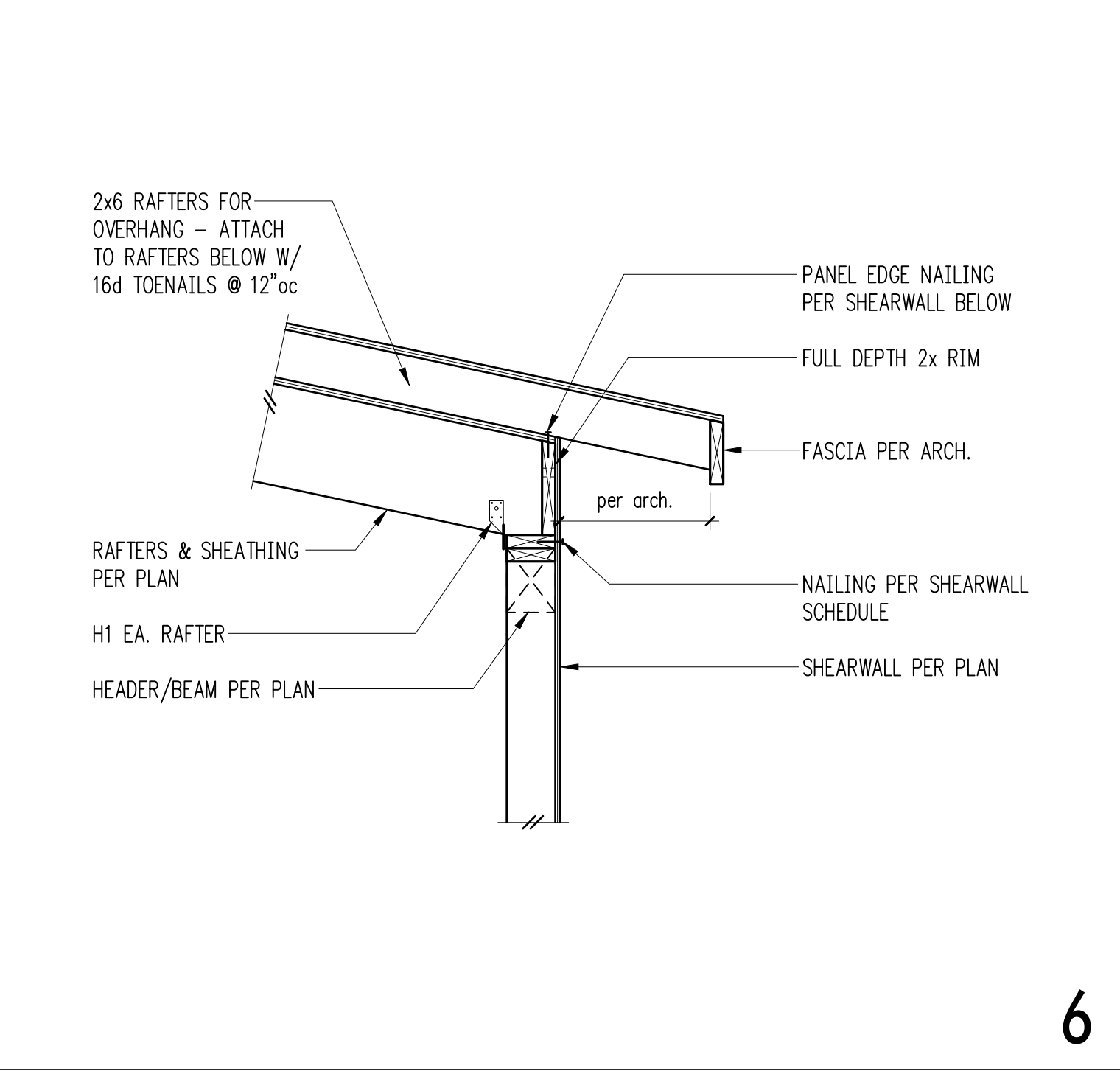
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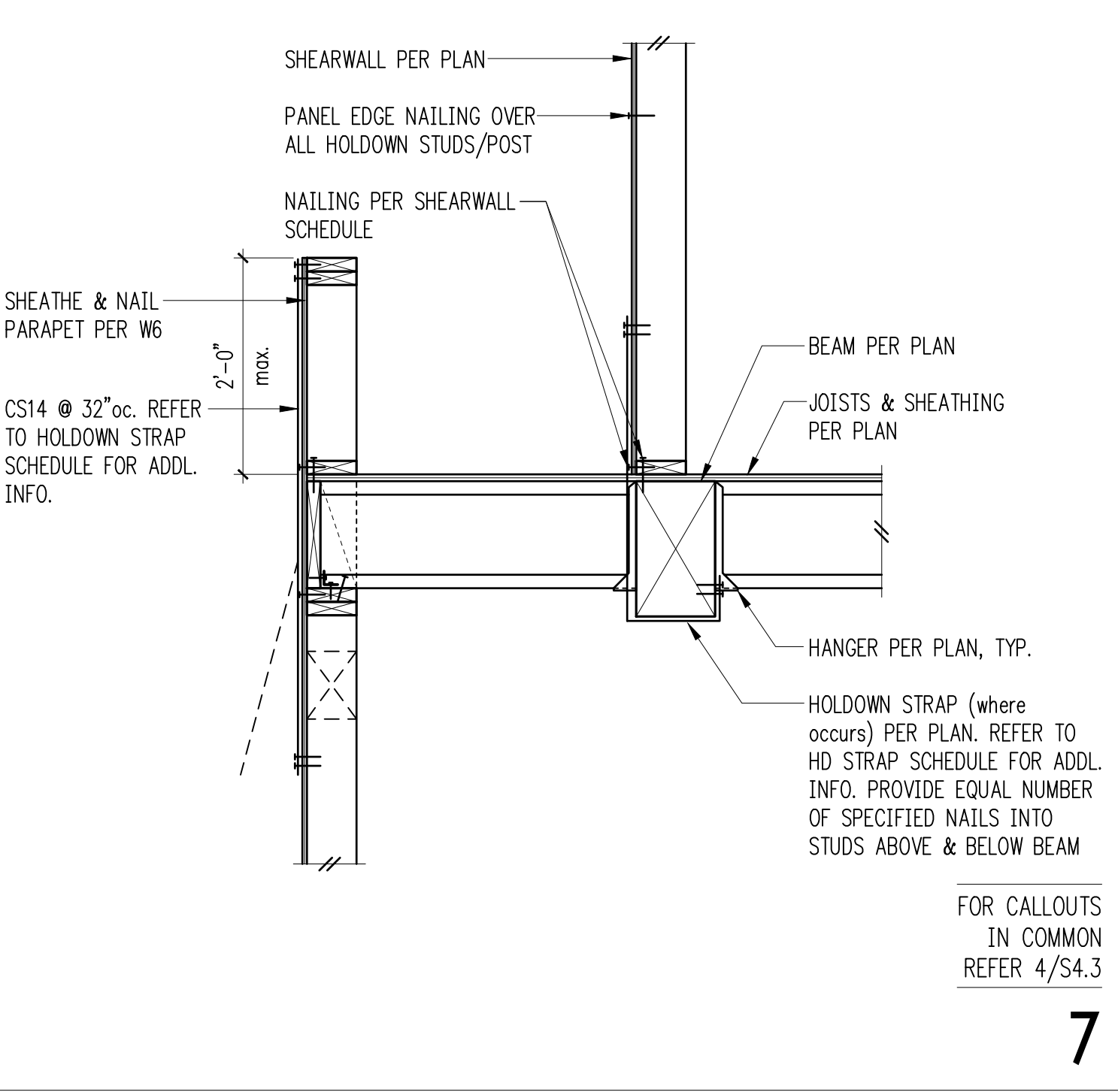
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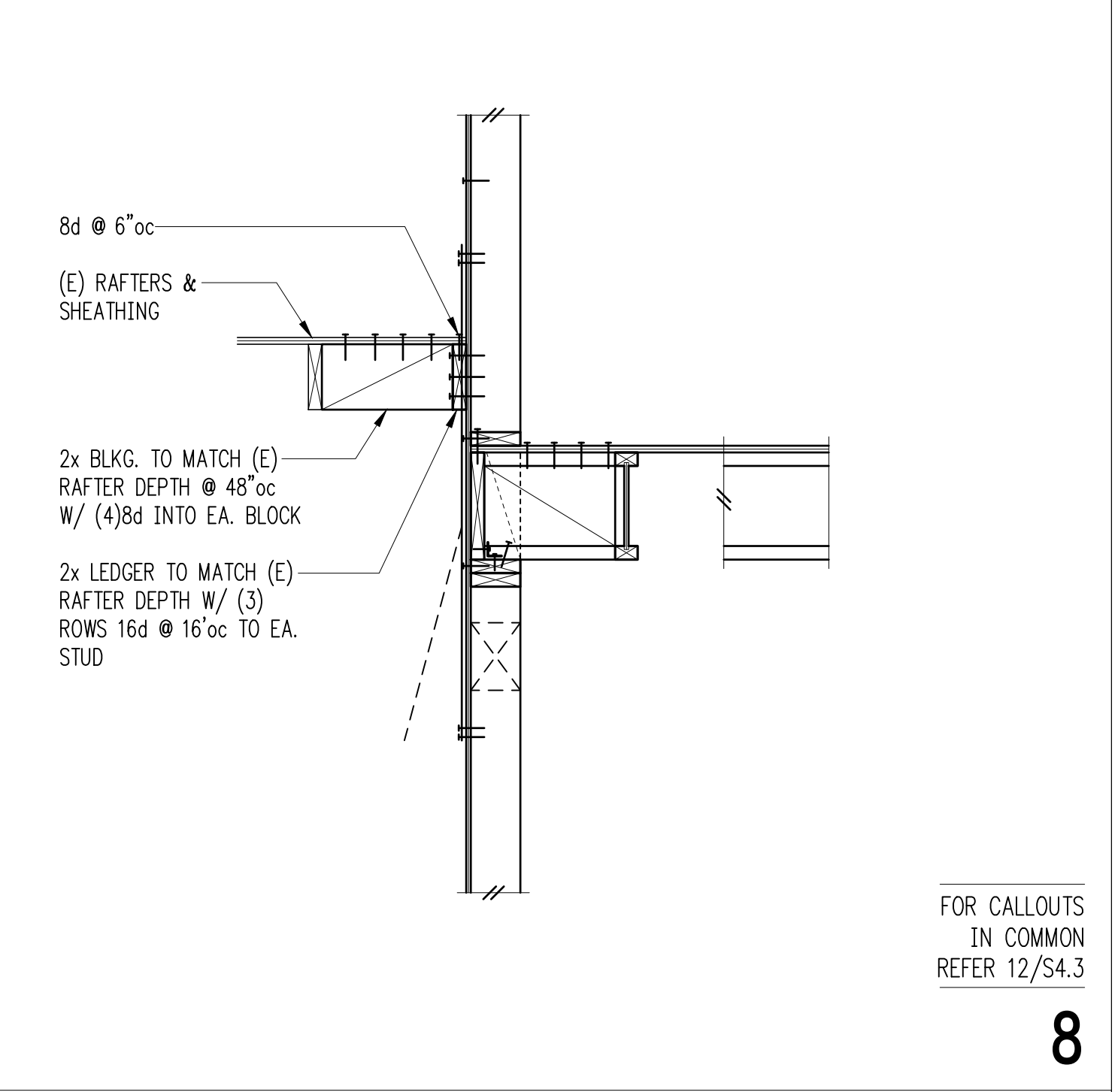
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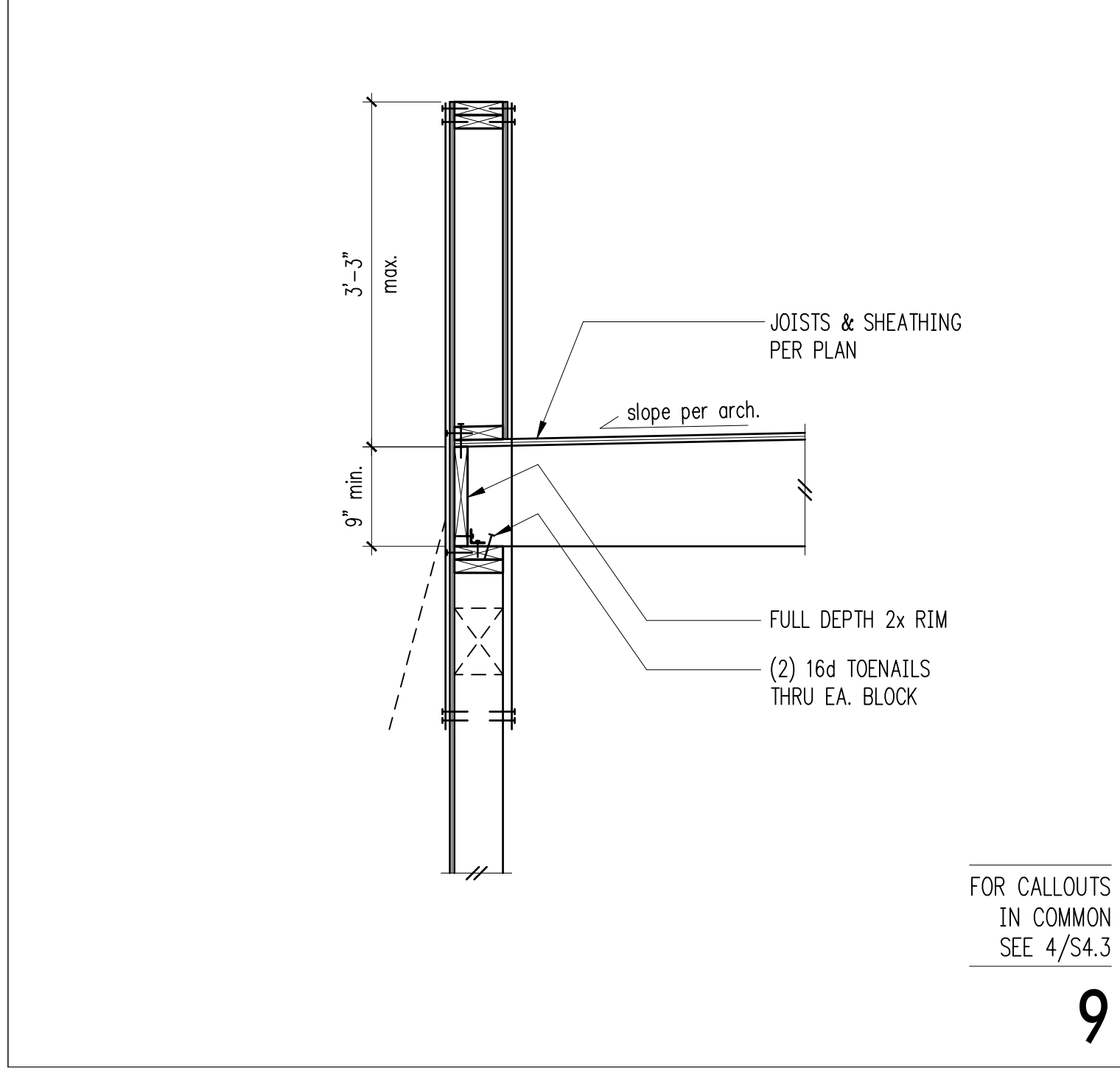
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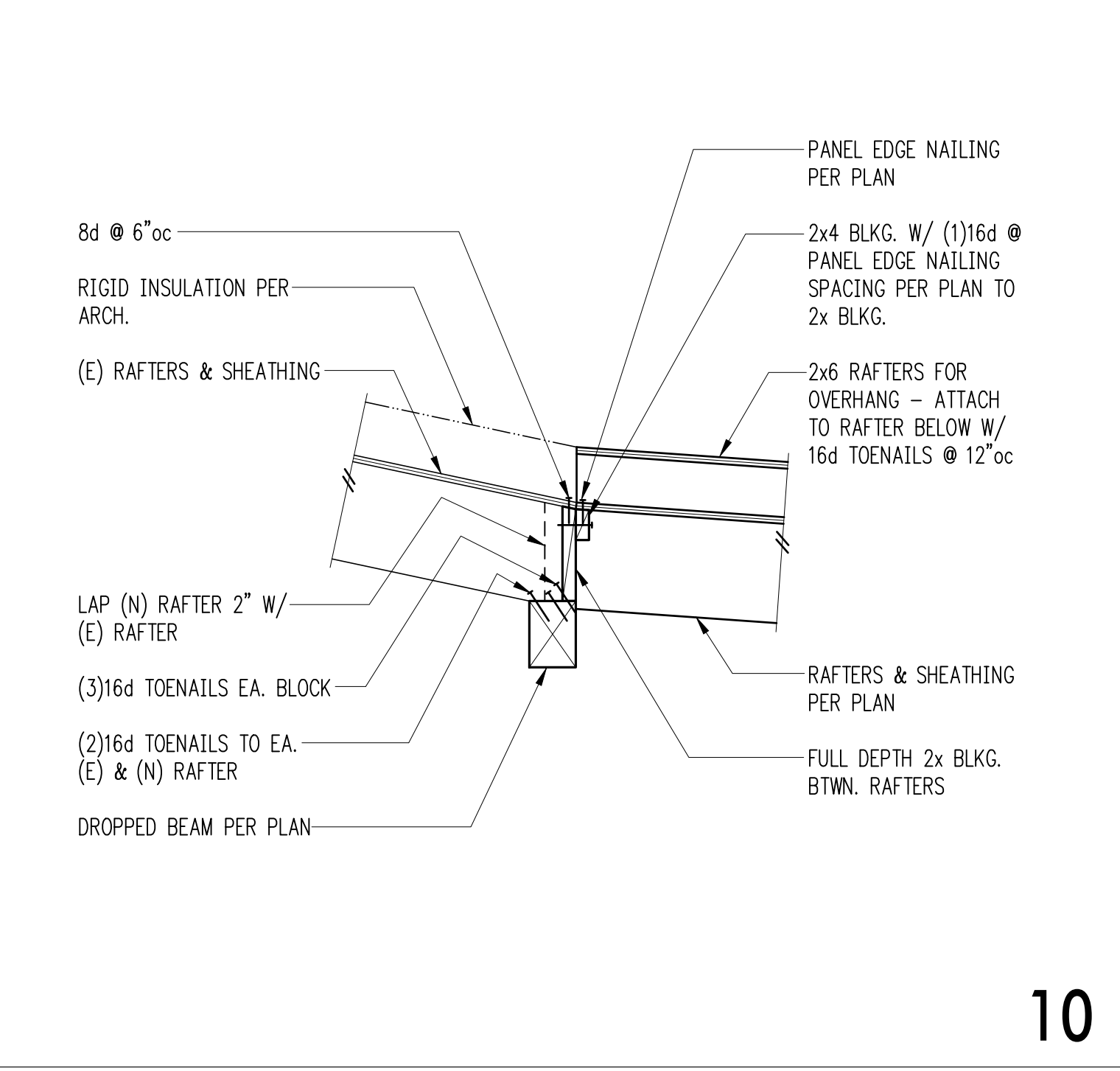
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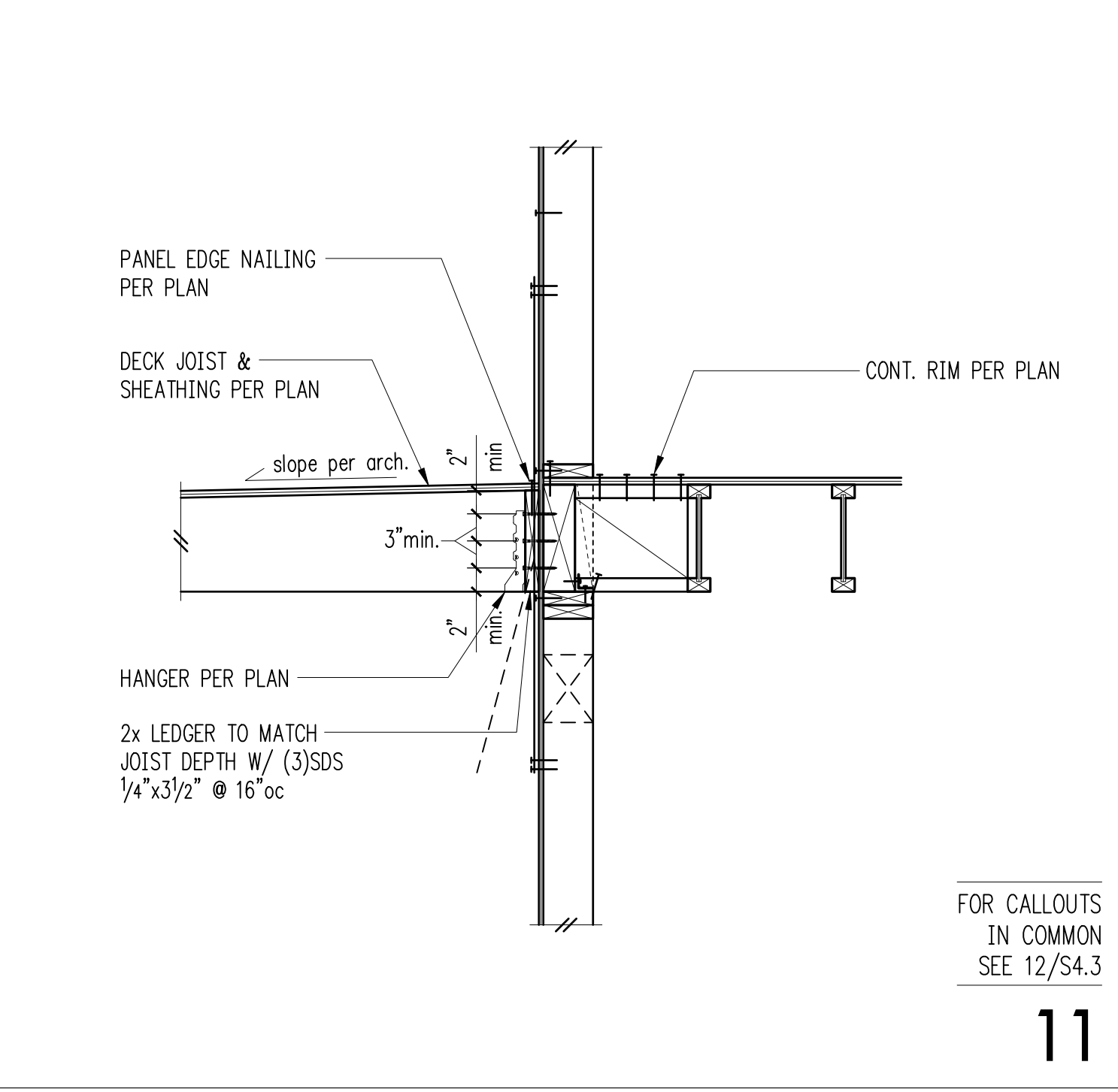
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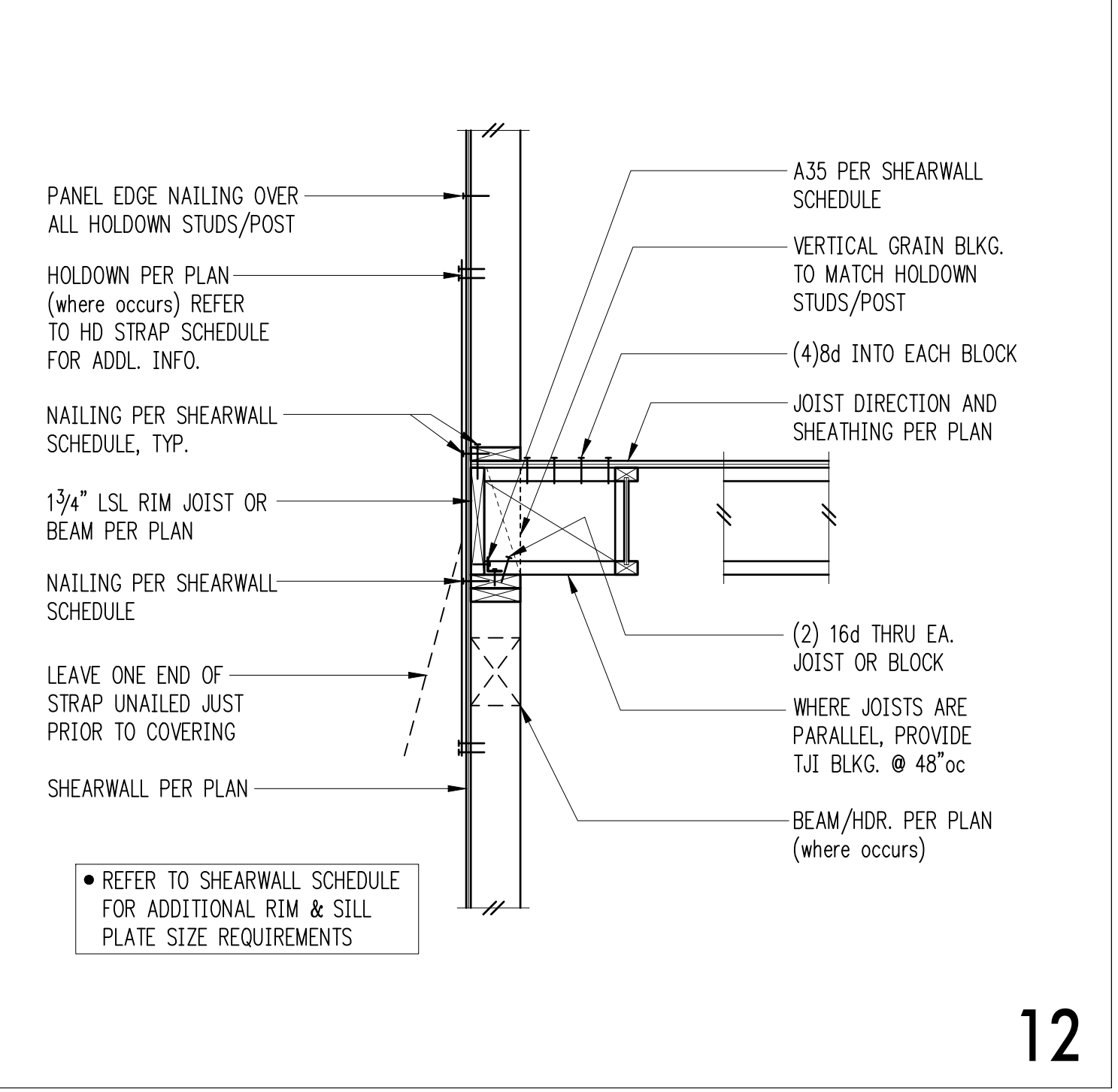
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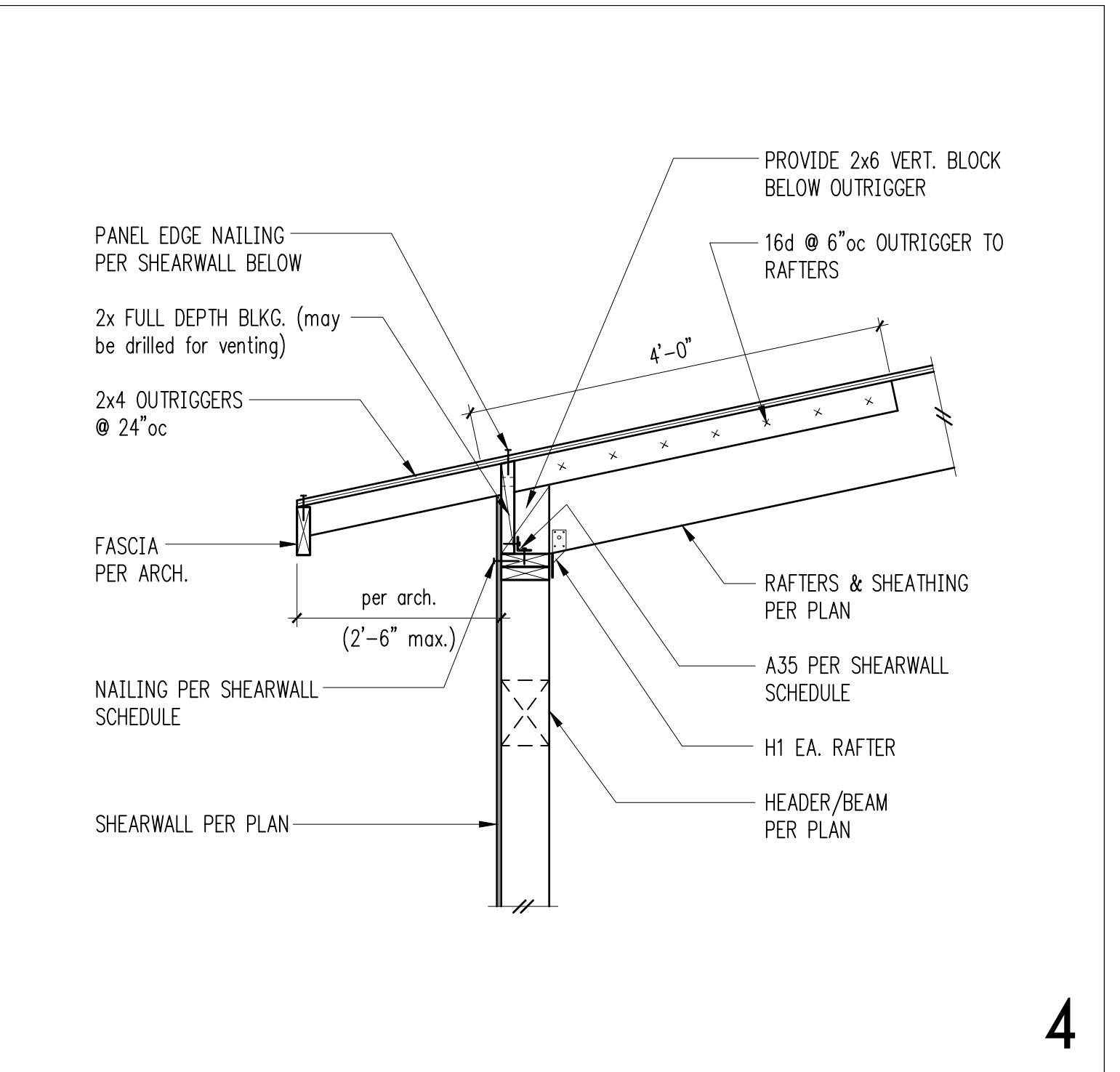


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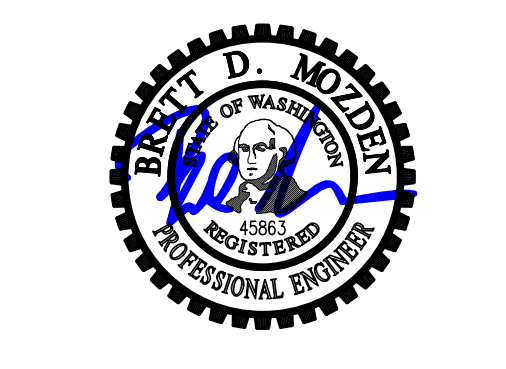
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2

3



SEATTLE
2124 Third Avenue, Suite 100
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ssfengineers.com
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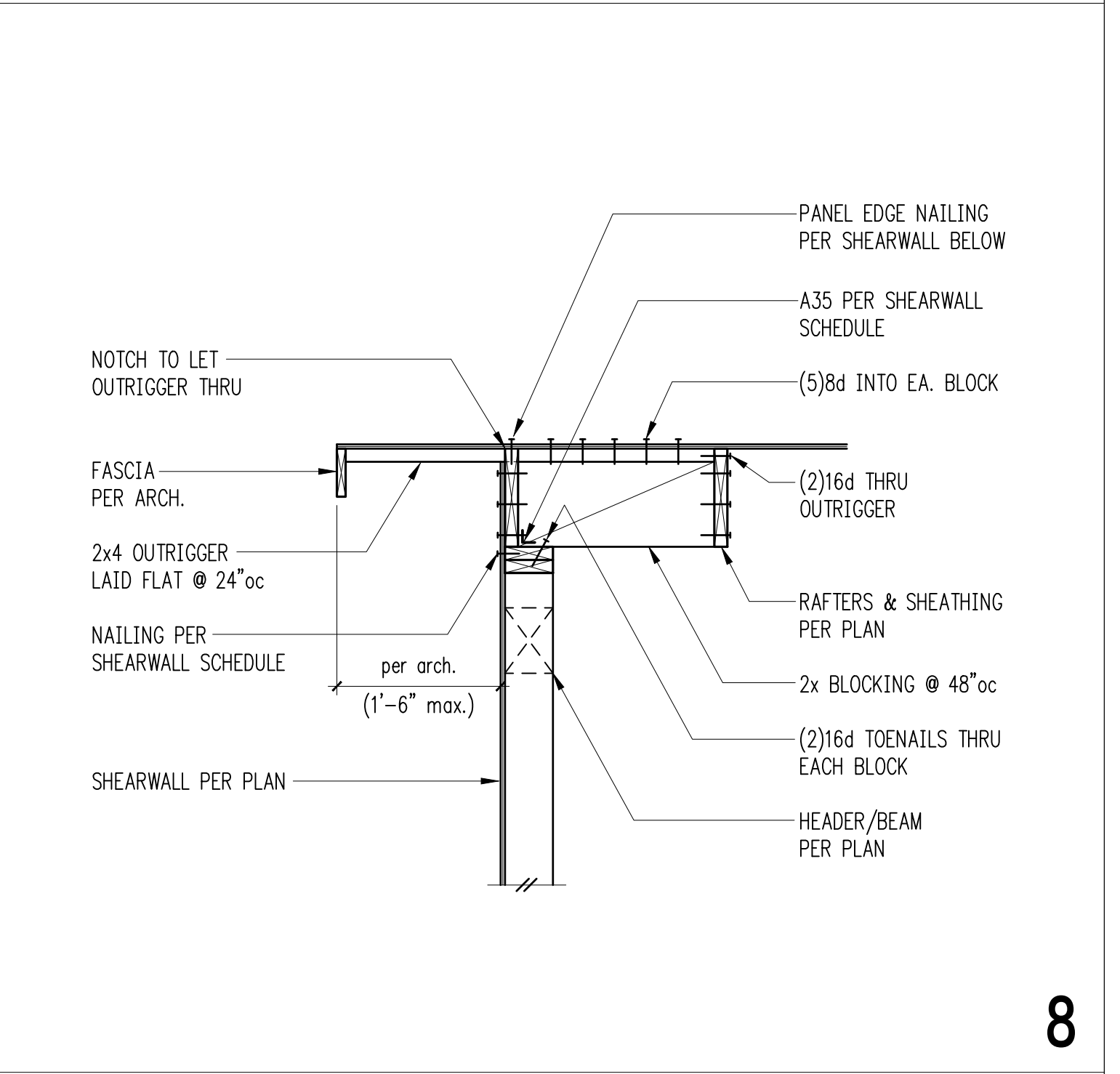


DESIGN: LAN
DRAWN: NHD
CHECKED: BDM
APPROVED: BDM

5

6

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REVISIONS:

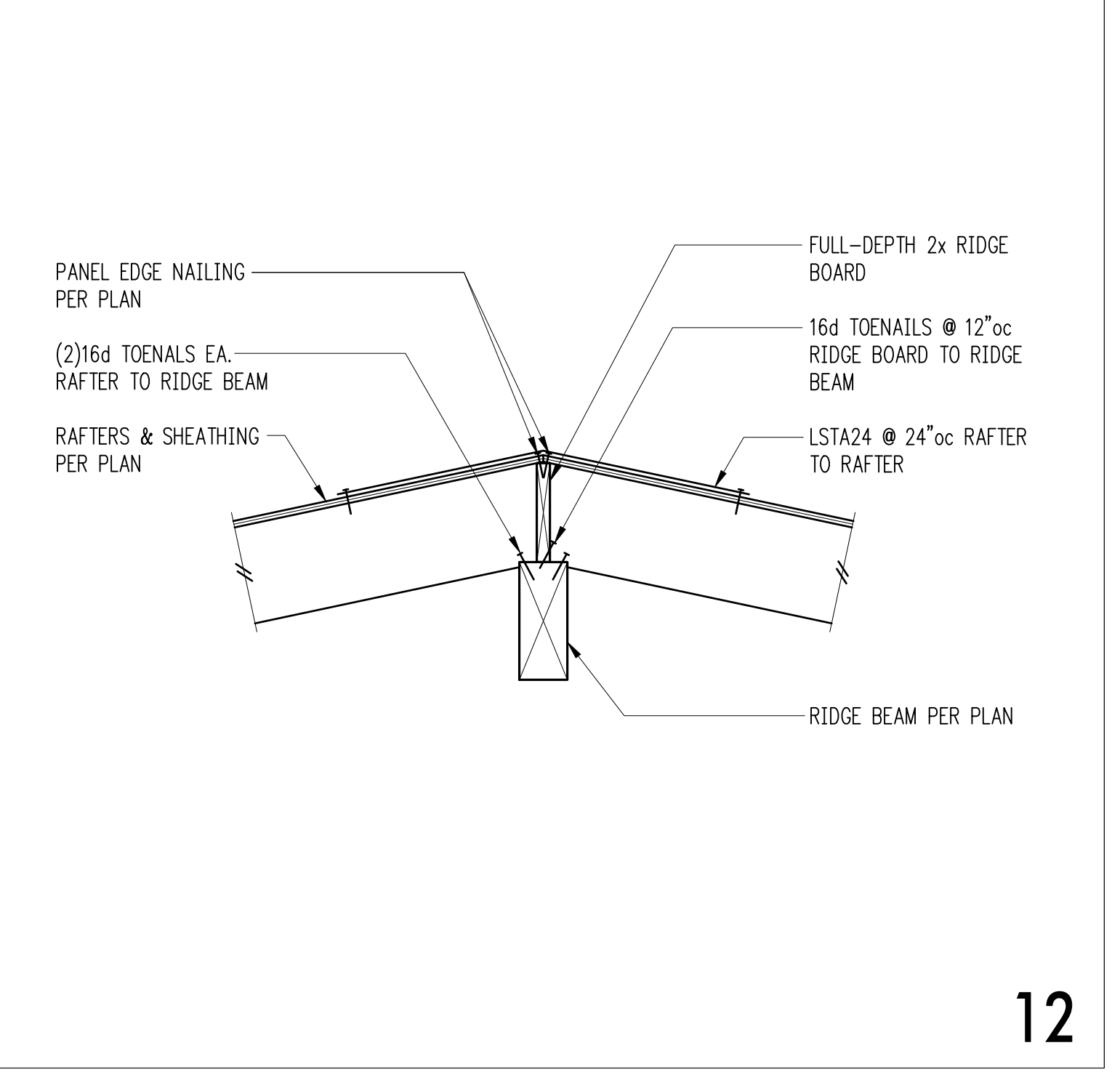
DPD: _____

PROJECT TITLE:
Eckels Andersen
3413 72nd Pl. SE
Mercer Island, WA 98040

9

10

11



ARCHITECT:
Salt Studio LLC
66 Bell Street #1
Seattle, WA 98121
PH 206.948.2104

ISSUE:
PERMIT

SHEET TITLE:
Wood Framing Details
SCALE: $3/4" = 1'-0"$ U.N.O.
DATE: May 9, 2024
PROJECT NO: 10213-2023-02
SHEET NO:

S4.4